

STEGE SANITARY DISTRICT BOARD OF DIRECTORS MEETING  
DISTRICT BOARD ROOM, 7500 SCHMIDT LANE, EL CERRITO, CA  
MEETING OF AUGUST 22, 2024 @ 7:00 P.M.  
www.stegesan.org • staff@stegesan.org

\*\*\*\*\* AGENDA \*\*\*\*\*

Items on the agenda may be taken out of order.

Public comment is limited to three (3) minutes for each individual speaker.

In accordance with California Government Code Section 54957.5, any writing that is a public record and relates to an open session agenda item which is distributed less than 72 hours prior to the meeting shall be available for public inspection at the District Office, 7500 Schmidt Lane, El Cerrito, during regular business hours. Copies of the agenda are posted on the District website at [www.stegesan.org](http://www.stegesan.org). Those disabled persons requiring auxiliary aids or services in attending or participating in this meeting should notify the District at least 48 hours prior to the meeting at 510/524-4668.

*Members of the public can observe the live stream of the meeting by accessing <https://zoom.us/j/84090509848> or by calling (669) 900-9128 and entering the Meeting ID# 840 9050 9848 followed by the pound (#) key.*

*The ability to participate and observe remotely as identified above is predicated on the technology being available and functioning without technical difficulties. Should the remote platform not be available, or become non-functioning, or should the Board of Directors otherwise encounter technical difficulties that makes that platform unavailable, the Board of Directors will proceed with business in person unless otherwise prohibited by law.*

*Public comment can be sent remotely by delivering a physical copy to **7500 Schmidt Lane, El Cerrito, CA 94530** or via email to [comments@stegesan.org](mailto:comments@stegesan.org) with "Public Comment" in the subject line. To provide written comment on an item on the agenda or to address the Board during Public Comment, please note the agenda item number that you want to address or whether you intend for the comment to be included in Public Comment. Comments timely received at least 15 minutes before the starting time of the meeting will be provided to the Board of Directors and will be added to the official record.*

*Public Comment during the meeting is limited to in-person participants and those comments timely received at least 15 minutes before the starting time of the meeting. Members of the public will not have the ability to comment via Zoom unless the Board of Directors is required to provide that opportunity due to a Director participating pursuant to AB 2449. In such a circumstance, the Chair will make an announcement at the beginning of the meeting. Those interested in commenting (if required per AB 2449) should raise their virtual hands to notify the host during the relevant agenda item.*

*Pursuant to AB 2449, Board Members may be attending this meeting via remote conferencing. In the event that any Board Member elects to attend remotely, all votes conducted during the meeting will be conducted by roll call vote.*

STEGE SANITARY DISTRICT BOARD OF DIRECTORS MEETING  
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MEETING OF AUGUST 22, 2024 @ 7:00 P.M.  
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**I. Call To Order**

**II. Roll Call**

**Agenda Items:** Directors and Officers of the Board will consider and announce if they have any conflicts of interest posed by items on the meeting agenda.

**III. Public Comment**

(Members of the public are invited to address the Board concerning topics that are **not** on the agenda)

Motion:

**IV. Approval of Minutes**

A. Approval of August 8, 2024 Board Meeting Minutes

(The Board will be asked to review and approve the minutes)

Info:

**V. Communications**

A. Oral/Written Communications

1. Brief reports from Directors on matters related to the District, including attendance at city or community meetings

Info:

**VI. Reports of Staff and Officers**

A. Attorney's Report

B. Committee Reports

C. Engineer's Report

1. Monthly Maintenance Summary Report
2. Monthly Report of Sewer Replacements and Repairs
3. Connection Charge Report per Gov. Code 66013
4. 2024 California Special Districts Association (CSDA) Conference
  - September 9-12 – Annual Conference, Indian Wells, CA

**VII. Business**

Info/Motion:

- A. Consideration of Class III Easement Encroachment – 6819 Snowdon Avenue in El Cerrito

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(The Board will consider the easement encroachment request)

Info/Motion:

B. Cancellation of the September 5, 2024 Board Meeting

(The Board will consider cancellation of the upcoming Board Meeting)

Resolution/Motion:

C. Resolution No. 2251-0824 Approving and Authorizing Disposal of Surplus Property

(The Board will consider approval of the Resolution)

**VIII. Monthly Financial Statements**

Info:

A. Monthly Investment, Cash, Receivables Report

B. Monthly Operating Statement

C. California Employers' Retiree Benefit Trust (CERBT) FY End Statement

(The Board will review the reports and statements)

Info/Motion: **IX.**

**Approval of Checks**

A. Checks for August 22, 2024 - Fund No. 3418 & 3423

(The Board will be asked to approve the checks)

Info:

**X. Future Agenda Items**

**September 5, 2024**

(none)

**September 19, 2024**

Health Care Benefits Review

Consent Decree Quarterly Report

**XI. Adjournment**

(The next meeting of the Stege Sanitary District Board of Directors is scheduled to be held on September 5, 2024 at 7:00 P.M. at the District Board Room, 7500 Schmidt Lane, El Cerrito, California.)

STEGE SANITARY DISTRICT BOARD OF DIRECTORS  
 MEETING OF AUGUST 8, 2024  
 TIME OF MEETING: 7:00 P.M.  
 DISTRICT BOARD ROOM, 7500 SCHMIDT LANE, EL CERRITO, CA

\*\*\*\*\*MINUTES\*\*\*\*\*

**I. Call To Order:** President Gilbert-Snyder called the meeting to order at 7:00 P.M.

**II. Roll Call:** Present: Beach, Christian-Smith, Merrill, O’Keefe, Gilbert-Snyder  
 Absent: None  
 Others Present: Rex Delizo, District Manager  
 Pamela Derby\*, CPS HR Consulting (for Item VII.A&B)  
 Rachel Danke\*, CPS HR Consulting (for Item VII.A&B)

*\*via video-conference*

**Agenda Items:** Directors and Officers of the Board did not announce any conflicts of interest posed by items on the meeting agenda.

**III. Public Comment:** There was no public comment.

Item VII.A&B was taken out of order at this time in the meeting.

**VII. Business**

A. Resolution No. 2250-0824 Approving an Amendment to the Salary Range of District Manager, Beginning August 8, 2024, in Conformance with California Code of Regulations, Title 2, Section 570.5

Pursuant to SB 1436, a summary of a recommendation for a final action on the salary and benefits of the District Manager was orally reported. The Board then approved the amended resolution.

MOTION: By Christian-Smith, seconded by Beach, to approve  
 Resolution No. 2250-0824 Approving an Amendment to the Salary Range

STEGE SANITARY DISTRICT BOARD OF DIRECTORS  
 MEETING OF AUGUST 8, 2024  
 TIME OF MEETING: 7:00 P.M.  
 DISTRICT BOARD ROOM, 7500 SCHMIDT LANE, EL CERRITO, CA

of District Manager, Beginning August 8, 2024, in Conformance with  
 California Code of Regulations, Title 2, Section 570.5, as amended

VOTE: AYES: Beach, Christian-Smith, Merrill, O’Keefe, Gilbert-  
 Snyder  
 NOES: None  
 ABSTAIN: None  
 ABSENT: None

**B. Draft Recruitment Brochure for District Manager Position**

The Board considered the draft brochure and recommended several amendments to CPS HR Consulting before making the document available to the public.

The Board resumed the order of the agenda at this time in the meeting.

**IV. Approval of Minutes**

**A. Approval of July 18, 2024 Board Meeting Minutes**

MOTION: By Christian-Smith, seconded by O’Keefe, to approve the minutes of the July 18, 2024 Board Meeting

VOTE: AYES: Beach, Christian-Smith, Merrill, O’Keefe, Gilbert-  
 Snyder  
 NOES: None  
 ABSTAIN: None  
 ABSENT: None

**V. Communications**

**A. Oral/Written Communications**

1. Brief reports from Directors on matters related to the District, including attendance at city or community meetings

STEGE SANITARY DISTRICT BOARD OF DIRECTORS  
 MEETING OF AUGUST 8, 2024  
 TIME OF MEETING: 7:00 P.M.  
 DISTRICT BOARD ROOM, 7500 SCHMIDT LANE, EL CERRITO, CA

a. California Association of Sanitation Agencies (CASA) Annual Conference

In accordance with AB 1234, Director Merrill reported on his attendance at the CASA conference.

**VI. Reports of Staff and Officers**

A. Manager's Report

There were no Manager items to report.

B. Committee Reports

The recruitment committee reported on their recommended changes to the initial draft of the recruitment brochure for District Manager position.

**VIII. Business**

A. Resolution No. 2250-0824 Approving an Amendment to the Salary Range of District Manager, Beginning August 8, 2024, in Conformance with California Code of Regulations, Title 2, Section 570.5

This item was taken out of order earlier in the meeting (see above).

B. Draft Recruitment Brochure for District Manager Position

This item was taken out of order earlier in the meeting (see above).

**IX. Approval of Checks**

A. Checks for August 22, 2024 - Fund No. 3418 & 3423

MOTION: By Merrill, seconded by O'Keefe, to pay the bills, Check Nos. 1141 through 1165 in the amount of \$762,373.35

VOTE: AYES: Beach, Christian-Smith, Merrill, O'Keefe, Gilbert-Snyder

NOES: None

ABSTAIN: None

ABSENT: None

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**X. Future Agenda Items**

**August 22, 2024**

Quarterly (FY End) Financial Statements

Connection Charge Report per Gov. Code 66013

CSDA Conference

+*SPECIAL MEETING – AB 1234 Ethics Training*

+*Cancellation of September 5, 2024 Board Meeting*

**September 5, 2024**

(none)

**XI. Adjournment**

The meeting was adjourned at 8:19 P.M. The next meeting of the District Board of Directors will be held on Thursday, August 22, 2024 at 7:00 P.M. at the District Board Room, 7500 Schmidt Lane, El Cerrito, California

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Rex Delizo  
STEGE SANITARY DISTRICT  
Secretary

# STEGE SANITARY DISTRICT MONTHLY MAINTENANCE SUMMARY REPORT

## July 2024

QUARTER 3

VEHICLE	DAYS	FOOTAGE (LF)
<i>UNIT 10 COMBO</i>	<i>10</i>	<i>59,277</i>
<i>UNIT 11 RODDER</i>	<i>0</i>	
<i>UNIT 15 CCTV</i>	<i>14</i>	<i>27,360</i>
<i>UNIT 16 COMBO</i>	<i>14</i>	<i>29,537</i>
TOTAL MONTH CLEANED		88,813
TOTAL MONTH CCTV'D		27,360

## QUARTERLY SUB-TOTALS

YEAR	QUARTER	TOTAL CLEANED (LF)	PLANNED TO CLEAN (LF)	Q END NOT COMPLT'D (LF)	TOTAL CCTV'D (LF)	PLANNED TO CCTV (LF)	Q END NOT COMPLT'D (LF)
<b>2024</b>	<b>3</b>	88,813	224,401	0	27,360	59,119	0
<b>2024</b>	<b>2</b>	241,082	188,935	0	58,662	64,948	33,962
<b>2024</b>	<b>1</b>	289,011	226,685	0	52,450	54,605	24,296
<b>2023</b>	<b>4</b>	228,862	184,938	0	48,625	50,930	23,849
<b>2023</b>	<b>3</b>	260,224	215,376	0	64,008	65,576	27,963
<b>2023</b>	<b>2</b>	245,563	202,070	0	52,033	60,081	38,937
<b>2023</b>	<b>1</b>	262,178	204,795	0	61,882	58,488	29,188



# MONTHLY SERVICE CALLS

# July-2024

DATE	MH UP/DN	ADDRESS	PRBLM IN	TYPE	LOC	CAUSE	END	COMMENTS
7/1/2024 Monday 4:00 PM	234205 234220	284 LEXINGTON RD. KENSINGTON, CA 94707	Main <input type="checkbox"/> Lateral <input type="checkbox"/> Other <input checked="" type="checkbox"/>	A,E				WE FOUND THIS TO BE EBMUD'S PROBLEM.
7/5/2024 Friday 12:35 PM	202116 202115	5500 SAN LUIS ST. RICHMOND, CA 94804	Main <input type="checkbox"/> Lateral <input type="checkbox"/> Other <input checked="" type="checkbox"/>	T				WE FOUND THIS TO BE THE CUSTOMER'S PROBLEM.
7/8/2024 Monday 3:42 PM	231017 234007	445 COVENTRY RD. KENSINGTON, CA 94707 <i>Last Call: 4/7/2005</i>	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	OF				WE FOUND THIS THO BE THE CUSTOMER'S PROBLEM.
7/9/2024 Tuesday 6:52 AM	275409 275408	11 KENSINGTON CT. KENSINGTON, CA 94707	Main <input type="checkbox"/> Lateral <input type="checkbox"/> Other <input checked="" type="checkbox"/>	T				CUSTOMER NEEDED HIS SEWER LINE LOCATED.
7/12/2024 Friday 12:25 PM	261304 261303	789 COLUSA AVE. EL CERRITO, CA 94530 <i>Last Call: 6/21/2024</i>	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	C				PLUMBER PULLED RAG FROM LATERAL, CUSTOMER'S PROBLEM.
7/12/2024 Friday 12:50 PM	221121 221120	6500 FAIRMOUNT AVE. EL CERRITO, CA 94530	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	C				WE FOUND THIS TO BE THE CUSTOMER'S PROBLEM.
7/12/2024 Friday 9:30 PM	265303 265302	857 SHEVLIN DR. EL CERRITO, CA 94530	Main <input checked="" type="checkbox"/> Lateral <input type="checkbox"/> Other <input type="checkbox"/>	C, D				OUR MAINLINE WAS HOLDING, WE BROKE THE STOPAGE BEFORE IT OVERFLOWED.
7/16/2024 Tuesday 9:12 AM	231616 231614	9 YALE AVE. KENSINGTON, CA 94707	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	C				WE FOUND THIS TO BE THE CUSTOMER'S PROBLEM.
7/17/2024 Wednesday 11:46 AM	203109 203108	5611 CENTRAL AVE. RICHMOND, CA 94804 <i>Last Call: 5/28/2023</i>	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	O				WE FOUND THE ODOR TO BE THE CUSTOMER'S PROBLEM.
7/17/2024 Wednesday 8:02 PM	265213 265014	811 SEA VIEW DR. EL CERRITO, CA 94530 <i>Last Call: 7/11/2022</i>	Main <input type="checkbox"/> Lateral <input type="checkbox"/> Other <input checked="" type="checkbox"/>	E				WE FOUND THIS TO BE EBMUD'S PROBLEM.
7/21/2024 Sunday 3:25 PM	161221 131216	1700 MANOR CIR. EL CERRITO, CA 94530 <i>Last Call: 1/23/2003</i>	Main <input checked="" type="checkbox"/> Lateral <input type="checkbox"/> Other <input type="checkbox"/>	B, D,E,OF	CO	ML	ST, Y	EBMUD- WATER MAIN BREAK DAMAGED STEGE MAIN LINE.
7/29/2024 Monday 12:44 PM	102302 102340	1440 MARIPOSA ST. RICHMOND, CA 94804 <i>Last Call: 9/7/2022</i>	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	T				THE LEAKING LATERAL IS THE CUSTOMER'S PROBLEM
7/29/2024 Monday 4:35 PM	281406 281405	940 AVIS DR. EL CERRITO, CA 94530	Main <input type="checkbox"/> Lateral <input checked="" type="checkbox"/> Other <input type="checkbox"/>	C, OF				WE FOUND THIS TO BE THE CUSTOMER'S PROBLEM.
7/31/2024 Wednesday 11:49 AM	231304 231303	3 MARCHANT CT. KENSINGTON, CA 94707	Main <input type="checkbox"/> Lateral <input type="checkbox"/> Other <input checked="" type="checkbox"/>	A				GROUND WATER, EBMUD PROBLEM.

**PROBLEM TYPE:**

- Water (A)
- Broken Main (B)
- S/S Congestion (C)
- Debris in Main (D)
- EBMUD (E)
- Soft Stoppage (F)
- Grease (G)
- Lateral Cause (LC)
- Misc (M)
- MH Cover (MC)
- Odor (O)
- Overflow (OF)
- PG+E (P)
- Roots (R)
- Surcharge (S)
- Storm Drain (SD)
- Unknown (U)
- Other (T)
- Wipes/Rags (W)

**SPILL**

**LOCATION:**

- Lamp/Manhole (MH)
- Mainline (ML)
- Lateral (L)
- Cleanout (CO)
- Building (BLDG)
- Other (O)

**SPILL**

**CAUSE:**

- Blockage (B)
- Surcharge (S)
- Line Break (ML)
- Other (O)

**SPILL END**

**LOCATION:**

- Building (BLDG)
- Creek (C)
- Strt/Pvmnt (ST)
- Storm Drn (SD)
- Yard (Y)
- Other (O)

<b>MAINLINE:</b>	<b>2</b>
<b>LATERAL:</b>	<b>7</b>
<b>OTHER:</b>	<b>5</b>
<b>TOTAL SERVICE CALLS:</b>	<b>14</b>
<b>MAINLINE OVERFLOW:</b>	<b>1</b>
<b>MAINLINE SURCHARGE:</b>	<b>0</b>

# SANITARY SEWER OVERFLOWS (SSOs) LAST 12 MONTHS

August-2024

DATE	MH UP/DN	ADDRESS	PRBLM IN	TYPE	LOC	CAUSE	END	COMMENTS	CAT*	VOL	RCVR'D	NET
3/8/2024 Friday 10:53 AM	265304 265303	838 SEA VIEW DR. EL CERRITO, CA 94530	Main <input checked="" type="checkbox"/> Lateral <input type="checkbox"/> Other <input type="checkbox"/>	B,D,OF	MH	ML	SD	DEBRIS IN MAIN CAUSED SSO.	CAT 1	765 gallons	34 gallons	731 gallons
4/15/2024 Monday 9:50 AM	283101_1 283106	941 LIBERTY ST. EL CERRITO, CA 94530	Main <input checked="" type="checkbox"/> Lateral <input type="checkbox"/> Other <input type="checkbox"/>	B,D,OF, SD	BLDG	ML,B	BLDG	SSO CAUSED BY STORM DRAIN MATERIAL INSIDE DISTRICT MAIN.	CAT 3	171 gallons	0 gallons	171 gallons
7/21/2024 Sunday 3:25 PM	161221 131216	1700 MANOR CIR. EL CERRITO, CA 94530	Main <input checked="" type="checkbox"/> Lateral <input type="checkbox"/> Other <input type="checkbox"/>	B, D,E,OF	CO	ML	ST, Y	EBMUD- WATER MAIN BREAK DAMAGED STEGE MAIN LINE.	CAT 3	210 gallons	210 gallons	0 gallons

**PROBLEM TYPE:**

- Water (A)
- Broken Main (B)
- S/S Congestion (C)
- Debris in Main (D)
- EBMUD (E)
- Soft Stoppage (F)
- Grease (G)
- Lateral Cause (LC)
- Misc (M)
- MH Cover (MC)
- Odor (O)
- Overflow (OF)
- PG+E (P)
- Roots (R)
- Surcharge (S)
- Storm Drain (SD)
- Unknown (U)
- Other (T)
- Wipes/Rags (W)

**SPILL**

- LOCATION:**
- Lamp/Manhole (MH)
  - Mainline (ML)
  - Lateral (L)
  - Cleanout (CO)
  - Building (BLDG)
  - Other (O)

**SPILL**

- CAUSE:**
- Blockage (B)
  - Surcharge (S)
  - Line Break (ML)
  - Other (O)

**SPILL END**

- LOCATION:**
- Building (BLDG)
  - Creek (C)
  - Strt/Pvmnt (ST)
  - Storm Drn (SD)
  - Yard (Y)
  - Other (O)

TOTAL MAINLINE SSOs: 3  
 MAINLINE BREAK SSOs: 3  
 MAINLINE SURCHARGE SSOs: 0  
 CATEGORY 1 SSOs: 1  
 SSOs INTO BUILDINGS: 1

TOTAL SSO VOLUME (GALS): 1,146  
 TOTAL VOLUME RECOVERED (GALS): 244  
 TOTAL VOLUME UNRECOVERED (GALS): 902

\*CATEGORY 1 SSO: Spill of any volume of sewage from or caused by a sanitary sewer system that results in a discharge to: A surface water, including a surface water body that contains no flow or volume of water; or A drainage conveyance system that discharges to surface waters when the sewage is not fully captured and returned to the sanitary sewer system or disposed of properly. Any spill volume not recovered from a drainage conveyance system is considered a discharge to surface water, unless the drainage conveyance system discharges to a dedicated stormwater infiltration basin or facility.

CATEGORY 2 SSO: Spill of 1,000 gallons or greater, from or caused by a sanitary sewer system that does not discharge to a surface water.

CATEGORY 3 SSO: Spill of equal to or greater than 50 gallons and less than 1,000 gallons, from or caused by a sanitary sewer system that does not discharge to a surface water.

CATEGORY 4 SSO: Spill of less than 50 gallons, from or caused by a sanitary sewer system that does not discharge to a surface water.

**STEGE SANITARY DISTRICT  
MONTHLY REPLACEMENT AND REPAIR SUMMARY  
July 2024**

<b>I SEWER REPLACEMENT - FY 2024-2025</b>			
A.	BUDGET ALLOCATION		\$3,593,000
B.	PRIOR BUDGET EXPENDED (WITH RETENTION)		\$0
C.	SEWER REPLACEMENTS PAID THIS MONTH (NO RETENTION)	<u>COST</u>	
SUBTOTAL FOR THIS MONTH			\$0
D.	TOTAL BUDGET EXPENDED (NO RETENTION)	0.00%	\$0
E.	TOTAL 5% RETENTION HELD		\$0
F.	BUDGET REMAINING	100.00%	\$3,593,000
G.	PERCENTAGE OF FISCAL YEAR REMAINING	100.00%	
H.	TOTAL REPLACEMENT FOOTAGE PAID TO DATE	0 ( \$ - /LF)	

<b>II SEWER REPAIRS - FY 2024-2025</b>			
A.	BUDGET ALLOCATION		\$74,000
B.	PRIOR BUDGET EXPENDED		\$0
C.	SEWER REPAIRS PAID THIS MONTH	<u>REPAIR COST</u>	
SUBTOTAL FOR THIS MONTH			\$0
SUBTOTAL FOR LAST MONTH			\$0
D.	TOTAL BUDGET EXPENDED	0.00%	\$0
E.	TOTAL RETENTION HELD	0.00%	\$0
F.	BUDGET REMAINING	100.00%	\$74,000
G.	PERCENTAGE OF FISCAL YEAR REMAINING	100.00%	
H.	TOTAL NUMBER OF REPAIRS PAID TO DATE	0 ( \$0 /REPAIR)	

**STEGE SANITARY DISTRICT  
ANNUAL COMPLIANCE REPORT FOR REQUIREMENTS OF  
GOVERNMENT CODE SECTION 66013**

**Fiscal Year Ending June 30, 2024**

Per Government Code Section 66013(d), the District shall make available to the public, within 180 days after the last day of each fiscal year, the following information for that fiscal year:

1. A description of the charges deposited in the fund.

**District-Wide Sewer Connection Charge** - The purposes of the sewer connection charge are (a) to provide revenue to acquire, construct, install and replace capital facilities and other assets required for the District’s wastewater disposal system, and (b) to distribute the cost of acquisition, construction, installation and replacement of the District’s wastewater facilities and other capital assets so that the owner of each parcel connected to the District’s system pays a proportionate share of those costs. Payment of the applicable connection charge allows discharges of wastewater to be made from the respective parcel in an amount that corresponds to the amount of the charge established by the District Ordinance Code. The discharge capacity thus acquired is irrevocable and runs with the parcel.

**San Pablo Avenue Specific Plan Area Sewer Connection/Capacity Charge** - In September 2017, a special study was completed to help plan for future developments in the San Pablo Avenue Specific Plan Area (SPASPA) in the City of El Cerrito. (“Sewer Capacity Charge for the San Pablo Avenue Specific Plan Area,” September 12, 2017, Urban Economics) and an additional updated connection fee study was conducted in April 2019 (“Connection Charge and SPASPA Impact Fee Study”). Without pipe upsizing, the anticipated development in the SPASPA would surcharge existing facilities. An additional capacity charge will fund sewer capacity improvements needed to serve projected growth within the SPASPA. For new connections and increased discharges in the SPASPA, both residential and nonresidential developments will pay an additional fee per fixture unit. For SPASPA developments, these charges must be paid in addition to the District-Wide Sewer Connection Charge.

2. The beginning and ending balance of the fund and the interest earned from investment of moneys in the fund.
3. The amount of charges collected in that fiscal year.

<b>Beginning Balance July 1, 2023</b>	<b>\$248,328.61</b>
<b>District-Wide Fees Collected</b>	<b>202,648.19</b>

<b>San Pablo Avenue Specific Plan Area Fees Collected</b>	<b>269,015.68</b>
<b>Interest Earned</b>	<b>21,256.12</b>
<b>Transfers in/out of other funds</b>	<b>(282,065.04)</b>
<b>Ending Balance June 30, 2024</b>	<b>\$529,268.81</b>

4. An identification of all of the following:

- a. Each public improvement on which charges were expended and the amount of the expenditure for each improvement, including the percentage of the total cost of the public improvement that was funded with those charges if more than one source of funding was used.

<b>Capital Improvement Project</b>	<b>\$3,645,403.00</b>	<b>7.74 %</b>
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- b. Each public improvement on which charges were expended that was completed during that fiscal year.

<b>Capital Improvement Project</b>
<b>San Pablo Avenue Specific Plan Area Upgrade Project</b>

- c. Each public improvement that is anticipated to be undertaken in the following fiscal year.

<b>Capital Improvement Project</b>
<b>San Pablo Avenue Specific Plan Area Upgrade Project</b>

5. A description of each interfund transfer or loan made from the capital facilities fund. The information provided, in the case of an interfund transfer, shall identify the public improvements on which the transferred moneys are, or will be, expended. The information, in the case of an interfund loan, shall include the date on which the loan will be repaid, and the rate of interest that the fund will receive on the loan.

**The interfund transfer in the amount of \$282,065.04 was made to complete the Capital Improvement Project and the San Pablo Avenue Specific Plan Area Upgrade Project. There was no interfund loan made from the capital facilities fund.**

**CONSIDERATION OF CLASS III EASEMENT ENCROACHMENT –  
6819 SNOWDON AVE., EL CERRITO, CA**

**ISSUE:**

Marcus Daniels, property owner of 6819 Snowdon Avenue in El Cerrito, is requesting a class III easement encroachment for an existing detached structure that encroaches on a District sewer main easement in order to apply for a permit with the City of El Cerrito to convert the structure into an accessory dwelling unit.

**FISCAL IMPACT:**

If the structure is allowed to remain on the sewer easement, the District may be liable for any damage caused to this structure due to failure of the sanitary sewer main and/or in order to complete any sanitary sewer main repair or replacement.

**STRATEGIC PLAN:**

GOAL 2: Maintain and Improve Infrastructure

GOAL 3: Ensure Financial Stability and Efficiency

**BACKGROUND:**

Marcus Daniels, property owner of 6819 Snowdon Avenue in El Cerrito, intends to convert the existing shed structure on his property into an accessory building. However, this structure is 2-3 feet away from the sewer main line (located in the neighbor's property on 6820 Kenilworth Ave.) and therefore, is within the sewer easement located on his property. In essence, the existing structure was built too close to the rear property line.

The property owner is requesting a class III easement encroachment in order to apply for a permit with the City of El Cerrito to convert the structure into an accessory dwelling unit.

As per District Ordinance No. 1793-0602,

*6.2 Except as provided in Section 7, Class Two and Class Three Encroachments are not authorized and shall not be maintained or permitted on District easements.*

District staff considers the existing structure as a class III encroachment. In addition, the remodel improvements proposed by the property owner further exacerbates the District's potential liability should any damage occur to this proposed structure as part of regular maintenance, repair, or replacement of the existing sewer structures.

*1.3 Class Three. Encroachments which will cause significant interference with District easements. Examples may include permanent structures such as buildings, swimming pools,*

*permanent decks, retaining walls and reinforced concrete or masonry; temporary structures which are not readily removable from the easement; also trees, heavy brush, and vegetation that prevents District access to its facilities in the easement; also any activities and conditions that are unlawful or prohibited by this Ordinance or by other applicable laws.*

The sanitary sewer main is approximately 2-3 feet away from the structure's foundation. The sanitary sewer main is the original clay pipe.

Structures must be at least 5 feet from the centerline of sanitary sewer mains (outline of the 10 foot sewer easement), or else any plan check review will be rejected.

The District has no prior record of plan check reviews associated with this property.

The Owner was told that the title company's responsibility was to determine that the property title was unencumbered.

The Owner originally intended to simultaneously submit plans in tandem that includes the relocation of the structure to clear the sewer easement, but has not yet.

**RECOMMENDATION:**

Reject the property owner's request for a Class III Encroachment due to liability issues.

**ALTERNATIVES:**

1. Have the homeowner remove the structure from the sewer easement.
2. Take no action and provide staff direction.

**ATTACHMENTS:**

- Property Owner Request Letter.
- Property Owner Pictures
- Proposed improvement plan for accessory building without moving the structure.
- Sewer Vicinity Map
- Ordinance 1793

KENILWORTH

1722214

AVE

1722215

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1833

ST

1840

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6838

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6775

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1722202

8" SNOWDON

1722203

AVE

8"

6779

6790

6799

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3

3

3

6821

6847



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**Paul Soo, Jr.**

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**From:** "Marcus Daniels" <marcusgdaniels1182@gmail.com>  
**Date:** Monday, July 29, 2024 3:08 PM  
**To:** <paul@steges.org>  
**Subject:** Building permit exception sought

Hi Paul,

I'll send this in three parts. First this e-mail, second the photos, and third the building plan.

We started a project to replace a failing structure that has been on this lot for many decades. Our understanding at the time was that if we kept the footprint of the building the same as it was, we could treat it as a repair. It was an eyesore to us and to our neighbors. Months into this project, it was brought to our attention that we did need to permit the project, and in the path of getting a permit is getting consent from Stege.

The city refers to small buildings of this size as accessory buildings and does not have standoff requirements for the perimeter. It is intended to serve as an office for me, as I work at home. The old building was built on a concrete wall that spans north to south and another that runs east and west. These walls served and now still serve as foundations for the old and new buildings.

The most important of the walls is the back wall that runs east/west because it is a retaining wall that holds back the earth to the property to the north. We hand-excavated on the north side to install a French drain to keep water away from the building but did not encounter the sewer (not that we were expecting to find anything). From the grade of the house above, this digging was more than eight feet down.

Today I found out that the sewer line that serves the homes to the north of us is on the property to the north of us, however it is less than five feet from our retaining wall – a wall that has been there for around 60 years.

The property to the north has free space for excavation in case the sewer needed repair. It seems to me this provides the needed space for equipment, and it would be in the interest of these homeowners to facilitate that as it is their sewer. I see they took the liberty to pour a concrete foundation for a hot tub and have many mature trees as shown in the attached picture along the line dividing the property. (Both which are within five feet of this green path.)

I attach my plans and a photo of today's survey work by Stege. The sewer path shown in green. On the other side of the fence the fabric for my French drain can be seen. If we are forced to move this building it will create considerably more disruption to our neighbors and will be very expensive for us.

Best regards,

Marcus Daniels



(Top Left: Green sewer main mark on 6820 Kenilworth Ave.)

(Top Right: 6820 Kenilworth Ave. property line)



# Accessory Building Permit Request

**Site address:**

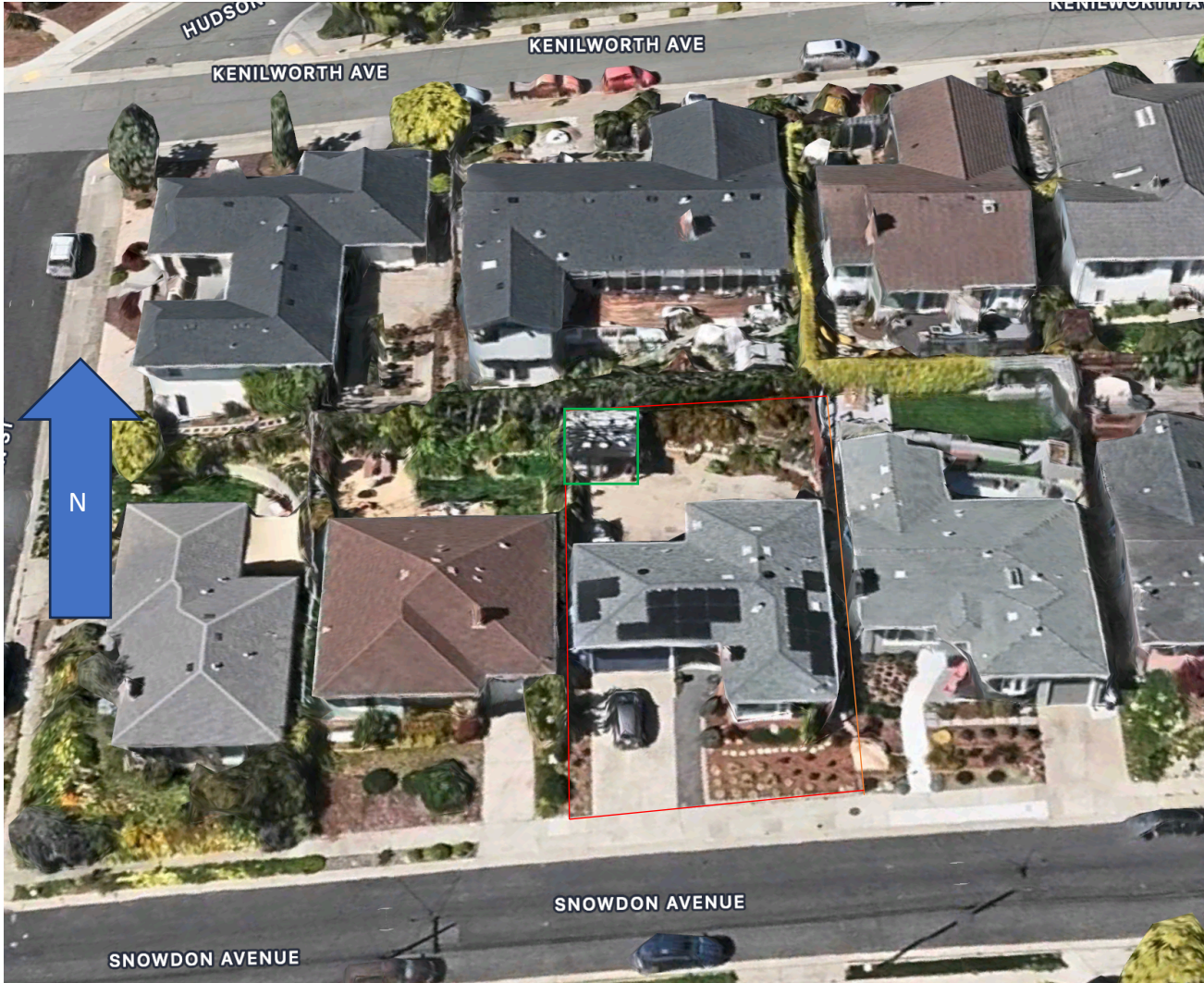
6819 Snowdon Ave.  
El Cerrito, CA 94530

**Owner, designer, and builder:**

Marcus Daniels  
(505)310-0988

**Location of proposed and existing buildings and property lines**

The boundaries of the property are outlined in red. The building for which the permit is sought is outlined in green.



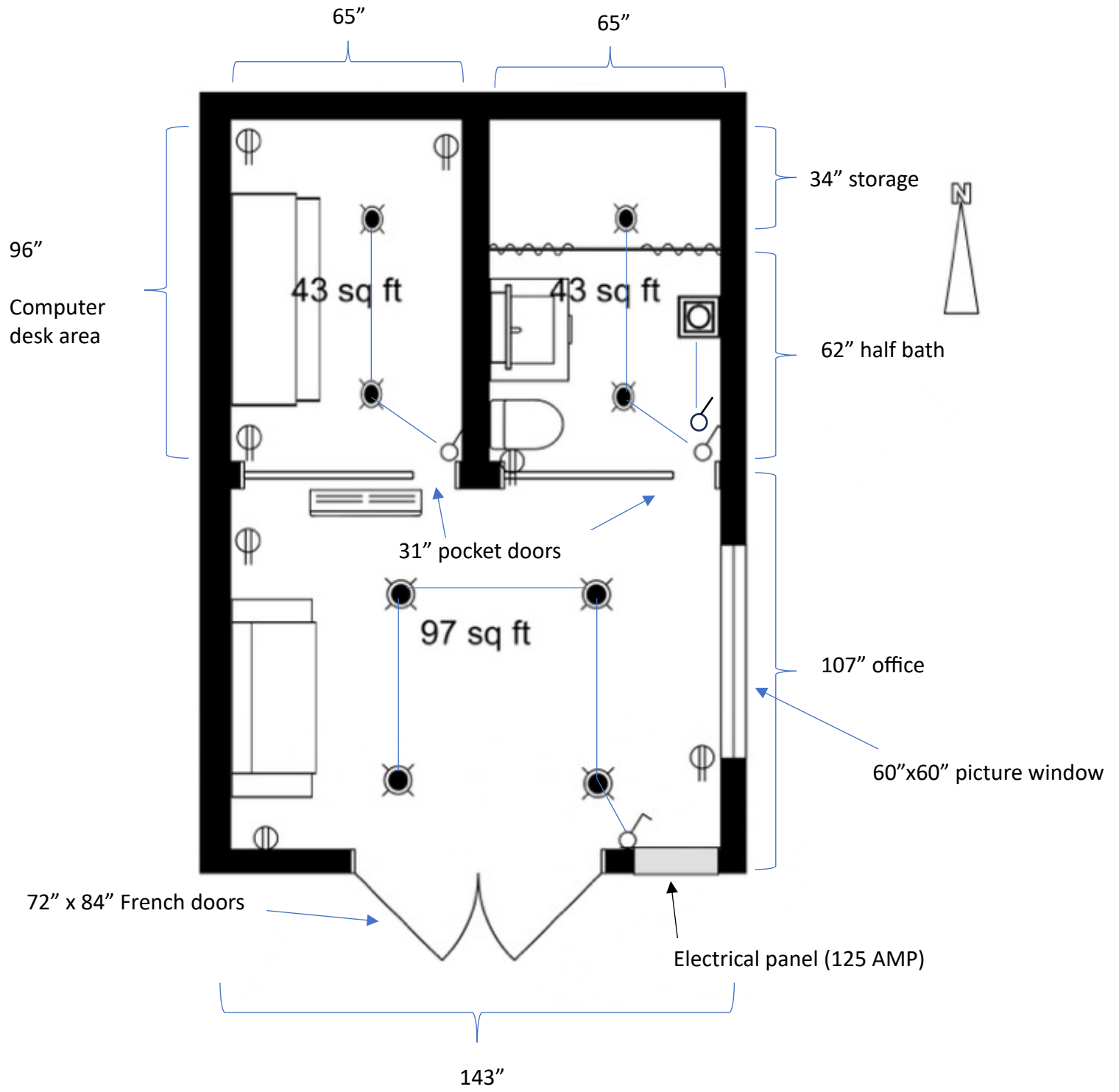
Heading north, these properties along Snowdon increase in elevation.

We purchased the property with a large ad-hoc shed of approximately 200 sq feet that had a brick fireplace and a bar. Unfortunately, time had not been kind to the structure, which had a flat roof. It leaked throughout and was not even usable for storage. Repair was not possible due the extensive rotting and insect damage. This permit applications aims to replace the building with a new building that will serve as an office.

### **Existing building, additional square footage, and lot coverage calculations**

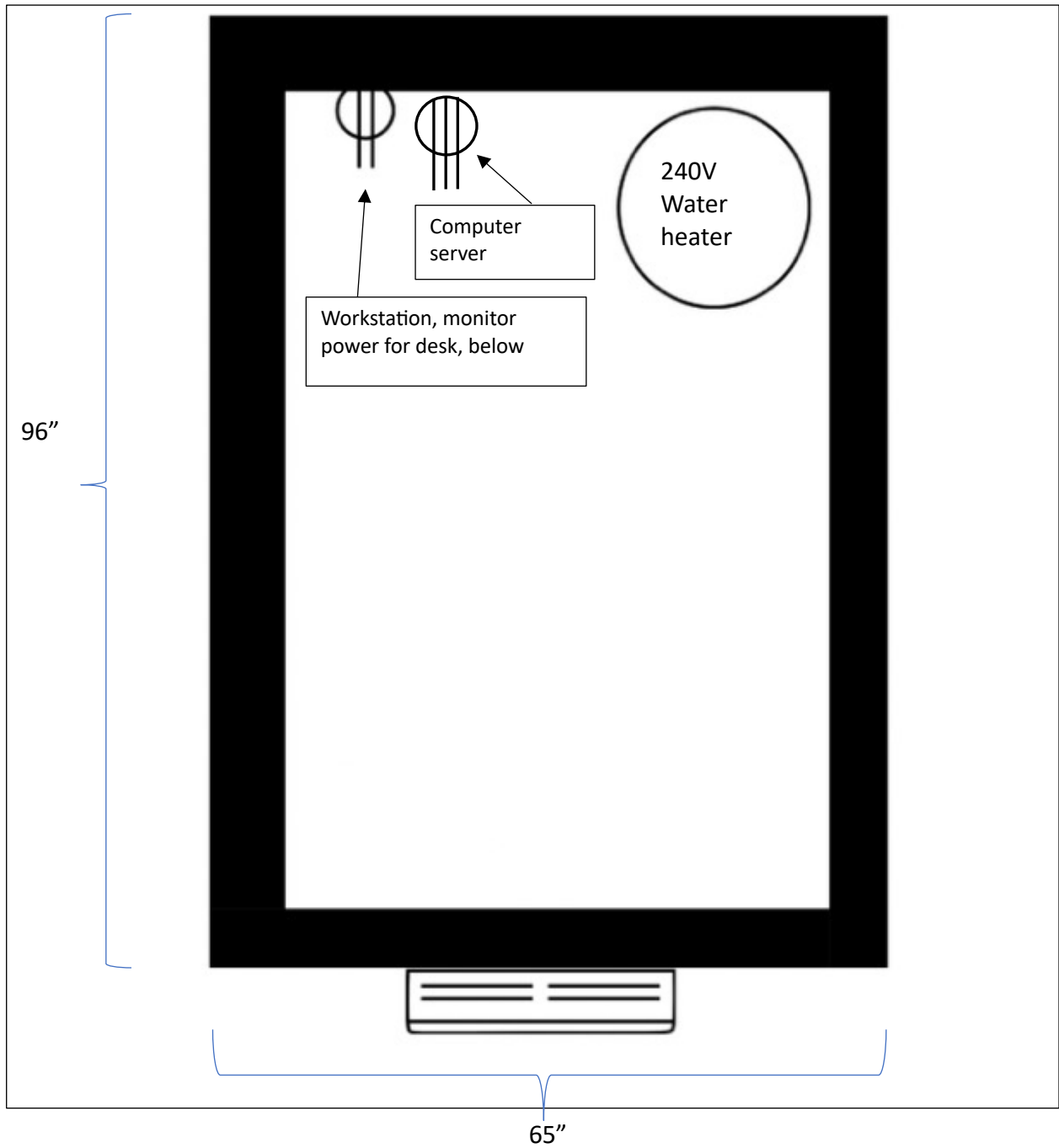
The property currently has a 1000 sq ft residence and a 450 sq ft garage. The accessory building (in green) will remain the same size of 200 sq ft but will be taller. The additional height is to avoid the problems of inadequate drainage by increasing the slope, to facilitate a working area with an 8 ft ceiling, and to add a foundation.

Floor plans



## Floor plans, attic

A small water heater can fit above the computer desk area on the west side (~ 40" height). The ceiling height of the computer desk area will be about 90". This area will also house several computers, and video cables will be dropped to the work area below.





## **Location of electrical, plumbing, and mechanical fixtures, outlets, and equipment**

The diagrams above show the electrical outlet locations, the switches, and the location of a mini split heat pump in the front (south) area. Heat from computers will be drawn from the attic in cooling scenario. (The mini split will draw air from behind.)

The mirror above the vanity will also have built-in illumination and power. It is a deep medicine cabinet prewired with several outlets.

The sewer and drainage lines follow the interior of the east side foundation to the mid-level-depth of the trench shown later in the document. The downward slope of the sewer line is all greater than  $\frac{1}{4}$ " per foot. Most is between  $\frac{3}{8}$ " and  $\frac{1}{2}$ " per foot. Electrical will be on the bottom.

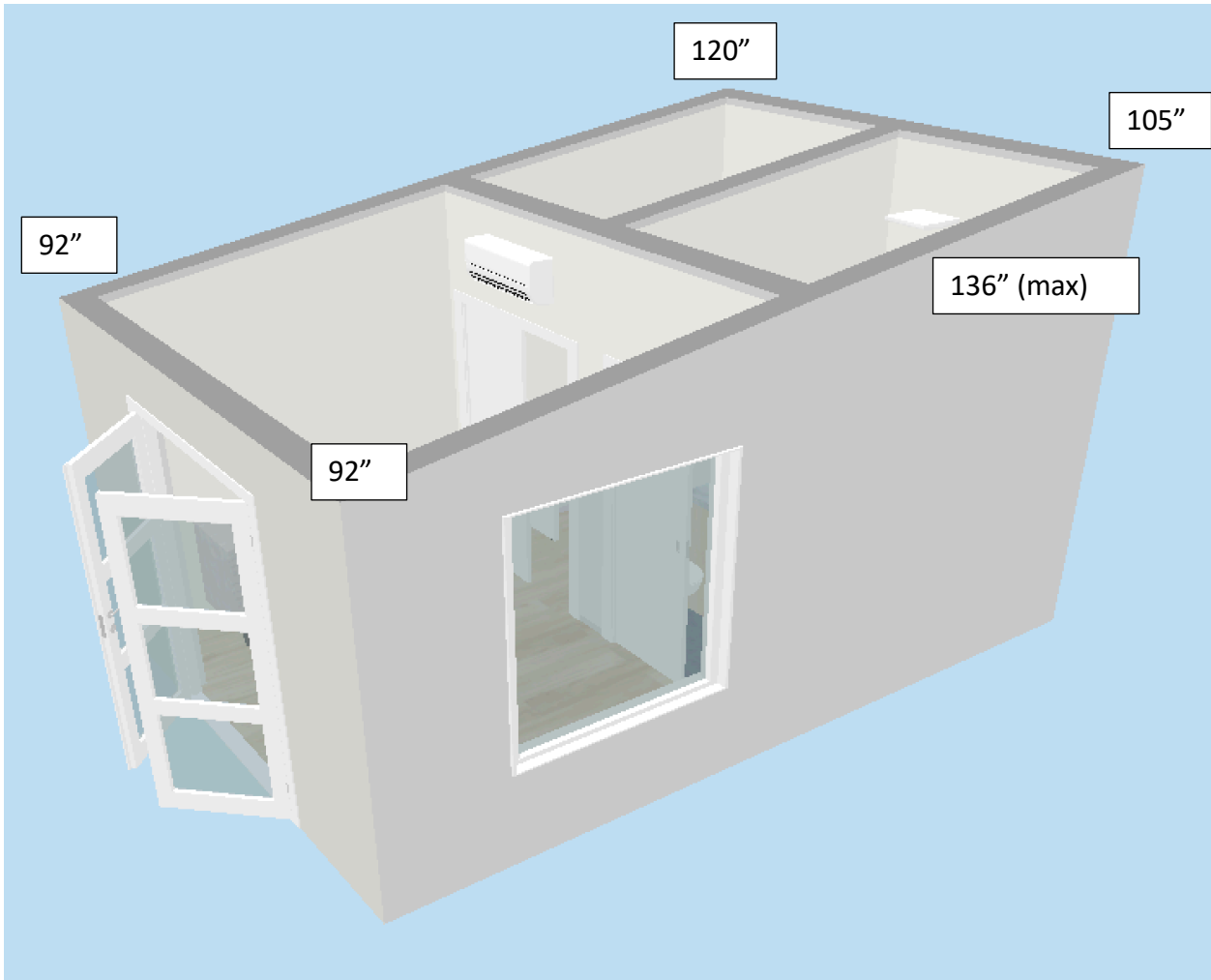
#2 AWG wire will be run from the home 200 AMP main panel to a 125 AMP subpanel on the interior of the southeast wall by the French doors. PVC Schedule 40 pipe will protect the wire. It will be run along the bottom of the trench and then under the house to the main panel on the south side (front) of the main home.

## Elevations, sections, and details

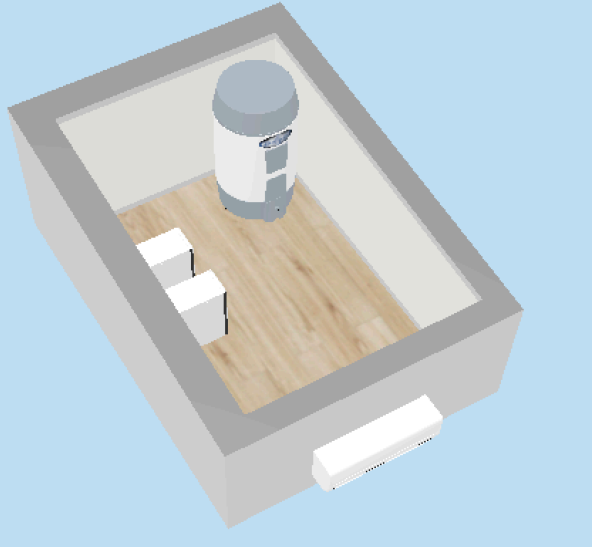
This photo illustrates the grade of the area: A 40" rise from the concrete patio. The slope of the roof is designed to follow this grade. It has the desirable side-effect of giving the roof southern exposure for solar panels. The front of the building is 9'2". The rear is similar from the reference point shown in the photo (bottom of beam). The tallest point of 11'4" is from the bottom of the pictured concrete retaining wall to the top of the roof.



Here are some views of the building with heights.



The attic will sit above the room on the upper right with the desk. It will provide space for the water heater and computing equipment.



## **Foundation, floor, ceiling, and roof design**

The previous building used a cinder block wall on the west and north side as its foundation. The current building does the same but reinforces cinder block wall with rebar and fills empty areas with concrete. The rebar also provides a way to secure 3.5" more inches of concrete to the top of these walls. This concrete cap holds threaded bolts that in turn secure the foundation to the building.

The old building rested on the concrete patio and had a deeper concrete slab on the north side. To isolate the floor of the new building, a concrete foundation was needed on the south and east sides. These are 24" deep. The east side foundation provides passage for the drainage and sewer lines. The south side is 12" wide and the east side is 16" wide. Both the south side and east side foundation pours have a rebar skeleton.

Pressure treated 2x6 ledgers are bolted to the foundation to support the floor with heavy bolts. The 2x6 floor joists run north/south and have periodic additional support using pressure treated shims or attached legs such that no more than 6' is unsupported. (Under the foundation it is all still concrete, the legs touch concrete.). Z-max hangers support the joists.

The ceiling in the front office room and the bathroom is a cathedral ceiling. Midpoint height is 10 feet. In the computer room, there shall be an attic floor built of 2x6 and 3/4" plywood. The height shall be 90". There shall be a wall (to the top of the building) that runs east/west that subdivides the main office from the computer desk room and the bathroom.

The roof rafters are 16" spaced 2x10s that run the span from north to south. 1/2" sheathing covers the roof. Above this shall be a self-adhering underlayment and then fiberglass shingles. This is to match the look of the home.

To ventilate below the floor, air will be pulled via a fan on the back of the building through channels in the back wall, under the floor, with intake vents on the front wall. However, below the wood floor of the building is still concrete, so minimum moisture from the ground is expected. There is plastic sheeting above the concrete, and along all the concrete walls.

Details:

Existing Concrete block walls backfilled with concrete and #4 rebar in all vertical block holes

4 horizontal #4 rebars in new foundation sections with #4 Ls in 16" centers

Simpson Strong Tie HD U4 hold down anchors in each corner

5/8"x12 HDG wet anchor foundation bolts

5/8 x 20 wet anchor bolts for each hold down

PT 3x6 mudsills

2x6 Doug fir framing 16" centers

2x10 Doug fir rafters on 16" centers

2x6 framing in demising walls

7/16" OSB wall and roof sheathing

8d nails on 8" centers

2" medium crown staples on 2" centers

VELUX 22-1/2 in. x 34-1/2 in. Fresh Air Electric Venting Curb-Mount Skylight with Laminated Low-E3 Glass, mounted on 2x6 curb. This skylight shall be centered in the bathroom.

## Drainage and landscape details

The lot experiences significant runoff as there is no yard and there is a lot of concrete. The main house has a sump pump on the northeast side, and the house downspouts have underground pipes to it. The most northwestern point of the house (not garage) has access to these pipes. The sump pump delivers water to the street.

The accessory building is further northwest from this northwestern point of the house, and it is convenient to run drainage the 20' from the accessory building to these drainage pipes. It is the same direction to get to the home's sewer under the house. The new building shall collect water at the low point on the southeast side and run it to a downspout to this same trench that serves as a French drain. There will also be drainage pipe that is routed under the building parallel to the sewer line. This drainage pipe will move water from the north foundation wall to the home's drainage pipes on this northwestern point.

The north retaining/foundation wall was excavated to place a French drain at its footing. This French drain continues around the corner to the short retaining wall for the flowerbed. This short retaining wall is the one pictured above where the grade is illustrated. There is a (barely visible) black pipe that bridges from the flower bed retaining wall back under the foundation of the new building. This pipe shall be closed all the way back to the main house drainage pipes.

No landscaping changes.



Cinder block wall (and foundation) is to the left of this French drain, which has its base at the bottom of the cinder block wall.

The drain turns the corner here to a dedicated outlet line and pipe at the bottom of the short concrete retaining wall at the top of this picture. The wall is the one shown in the Elevations section.

## Trenching and Sewer

On the next page is how I imagine electrical, sewer, accessory building drainage, and general drainage to share a trench. On this page, green is the existing sewer in the main house. Red is the extension to the new building.



Trench length 20'

3" diameter PVC

Depth 30"



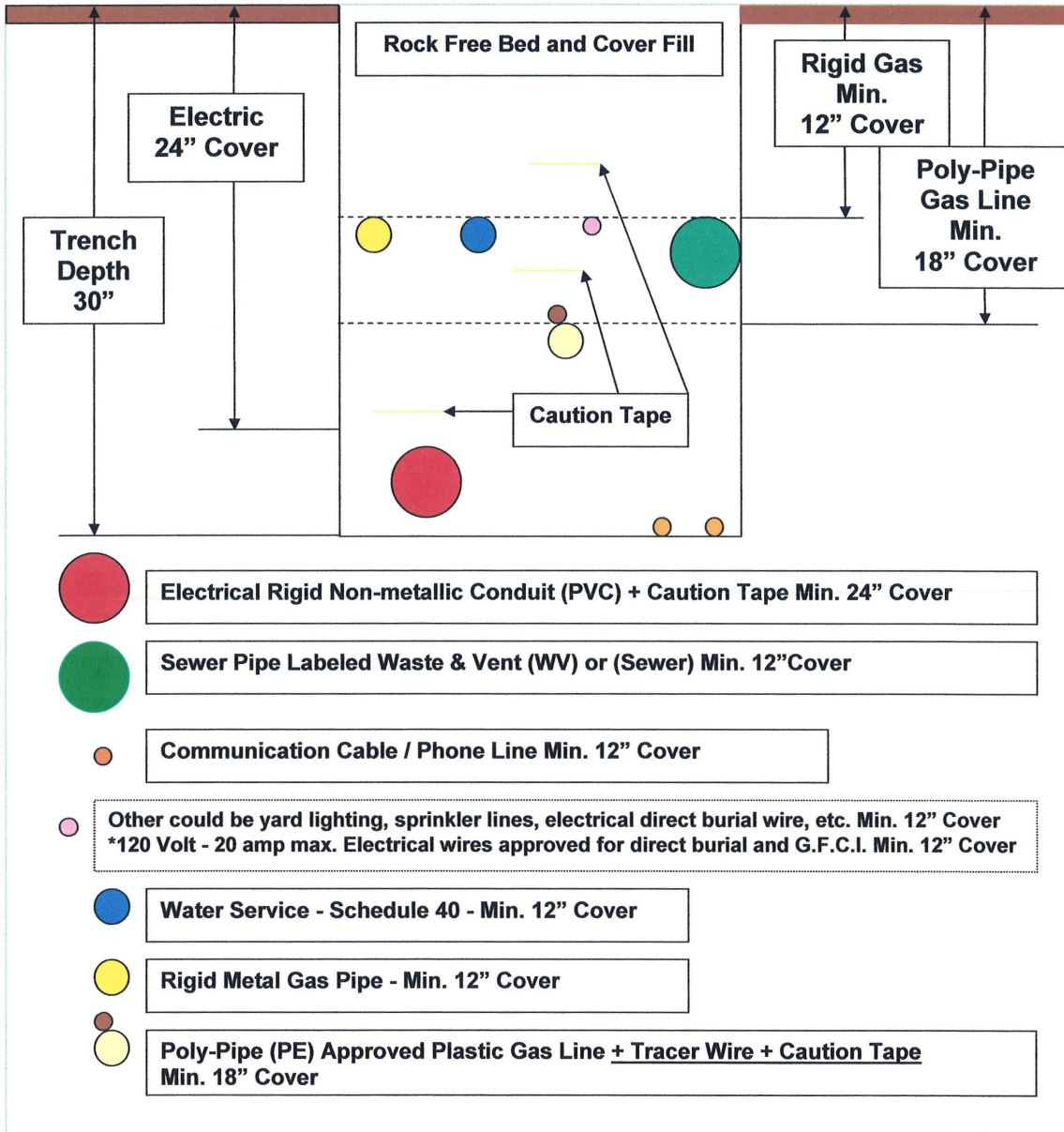


## Recommended Common Trenching On Private Property

All installations must meet manufacturer's specifications and all other applicable Codes

2007 California Electrical Code minimum cover requirements - see Table 300.5 on back of page

Note: This detail does not apply to common trenches under the jurisdiction of PG&E, water / sewer / telephone districts



## **Energy and electrical**

Roof is tilted toward the south to improve solar energy production.

The room beside the vanity may later be converted to hold a Tesla Powerwall.

The 60"x60" east facing window has the following attributes:

IG - 1 Lite

Tempered Low E3 w/Argon

U-Factor: 0.27

Solar Heat Gain Coefficient: 0.24

Visible Light Transmittance: 0.56

Condensation Resistance: 58

The 72"x81" south facing French doors have these attributes:

IG - 1 Lite

Tempered Low E3 w/Argon

U-Factor: 0.28

Solar Heat Gain Coefficient: 0.18

Visible Light Transmittance: 0.42

Condensation Resistance: 62

ENERGY STAR: SC, S

Walls will have R-19 cotton balls.

Ceiling will have R-30 faced fiberglass in ceiling joist cavity with air vent space above insulation beneath the sheathing.

Roof will have a layer of Poly-Iso foam on top of the sheathing.

HVAC will be 18000-BTU 22 SEER Ductless Mini Split Air Conditioner Heat Pump

Lighting LED 5" surface mount on ceiling

Bathroom fan and light will be manual on, auto-off and motion activated, with electronic control.

Expected loads: 40 amp computer server + 10 amp other computing + 20 amp heat pump + 20 amp hot water heater + 10 amp lights, misc = total 100 amp.

Maximum load demand calculations.

<b>1. 120v Computer Room Outlets</b>	<b>1920 watts</b>
<b>2. 120V Computer Room Outlets</b>	<b>1920 watts</b>
<b>3. 120v Living Room Outlets + Overhead lighting</b>	<b>650 watts</b>
<b>4. 120v Bath Outlets</b>	<b>1920 watts</b>
<b>5. 120v Bidet (Toto Washlet)</b>	<b>1440 watts</b>
<b>6. 240v Heat Pump (80% of 30 amp, 240v circuit).</b>	<b>5760 watts</b>
<b>7. Additional computing load (40 amps, 120 or 240v)</b>	<b>9600 watts</b>
-----	
<b>MAX LIKELY DEMAND:</b>	<b>23210 watts</b>

23210 watts = 96.8 amps MAX Expected Load.

Sub-panel Feed #2 THHN Wire @75°C = 115 amp rated; 80% = 100 amps

Sub-panel Spec: 125 amp rated sub-panel

Dedicated circuits for bidet and powered medicine cabinet with GFCIs.

## **Valuation**

Estimated cost is about \$75k.

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## ORDINANCE NO. 1793-0602

ORDINANCE (1) AMENDING POLICIES, STANDARDS AND REQUIREMENTS  
FOR DISTRICT EASEMENTS AND REGULATING EASEMENT  
ENCROACHMENTS, AND (2) RESCINDING ORDINANCE NO. 1726-1299

The Board of Directors of Stege Sanitary District finds and determines:

A. On December 16, 1999, the Board adopted Ordinance No. 1726-1299, an “Ordinance Establishing Policies, Standards and Requirements for District Easements and Regulating Easement Encroachments.”

B. Amendments to Ordinance No. 1726-1299 are necessary and desirable and will be best accomplished by rescinding Ordinance No. 1726-1299 in its entirety and adopting this Ordinance in its place.

In consideration of the foregoing findings and determinations,

IT IS ORDAINED by the Board of Directors of Stege Sanitary District as follows:

1. Definitions. For the purposes of this Ordinance, the following terms have the meanings specified below:

1.1 “Easement” means a property right, however created, by which the owner of the right is entitled to make specified uses of the real property of another person; “easement” include, “reserve,” “sewer reserve,” or “utility reserve”.

1.2 “Wastewater facilities” means pipelines, pump stations, or any other structures, equipment and machinery, including appurtenances to them, which are used to collect, convey, treat, dispose of and reuse wastewater.

1.3 “Encroachment” means an activity or condition which results in interference with the rights of the owner of an easement. As used in this Ordinance with respect to District easements, there are three classes of encroachments:

Class One. Encroachments which interfere only slightly with District easements. Examples may include loose paving stones and similar landscaping features, flowerbeds, small shrubs, lawn and ground covers which do not impede normal use and operation of District wastewater facilities and may readily be removed and restored at a modest cost if access to the facilities is required.

Class Two. Encroachments which will cause significant interference with District easements but which, due to being readily removable or by virtue of District mandated safeguards and/or mitigation measures, the interference can be ameliorated to an acceptable level. Examples may include fences, gates, driveways, paving, portable or readily removable

structures, larger vegetation whose roots do not have a propensity to invade wastewater facilities, and cuts and fills.

Class Three. Encroachments which will cause significant interference with District easements. Examples may include permanent structures such as buildings, swimming pools, permanent decks, retaining walls and reinforced concrete or masonry; temporary structures which are not readily removable from the easement; also trees, heavy brush, and vegetation that prevents District access to its facilities in the easement; also any activities and conditions that are unlawful or prohibited by this Ordinance or by other applicable laws.

1.4 “Significant interference” means, with respect to encroachments on District easements, an activity or condition which has the potential to impede access to or damage District wastewater facilities or which will result in excess of one person-hour of effort by the District to use the easement for its intended purposes.

2. District Policies Concerning Easements. The following are District policies concerning easements:

2.1 Wherever feasible, District-owned wastewater facilities shall be located on lands owned by the District, public lands to which the District has largely unrestricted access or in public streets, roads, highways or other public rights of way in which, by law, the District is entitled to construct, install, operate and maintain its facilities.

2.2 District-owned wastewater facilities shall not be located and permanently installed on or in private property, unless the District has acquired an easement or easements for the facilities conforming to this Ordinance. Temporary installations may be made pursuant to a license or other similar authorization approved by the District.

2.3 The location of District wastewater facilities, as described in Section 2.1, is strongly preferred over the type of location described in Section 2.2.

2.4 In furtherance of the policy stated in Section 2.3, District wastewater facilities should not be installed in easements over private property unless:

2.4.1 Installation in a Section 2.1 location is not possible, would be impracticable or would be unduly burdensome; and

2.4.2 The District’s easement rights shall be sufficient to enable the District to operate and maintain its facilities without excessive cost or other undue difficulty.

2.5 Subject to its right to abandon or relinquish ownership of any wastewater facilities which are no longer in use and which are not required for future District

needs, the District claims that as of the effective date of this Ordinance, it has acquired and owns easement rights for all District wastewater facilities which are located in or on private property, whether or not the District's easement rights are evidenced by a recorded written instrument or other writing providing notice of the District's claimed easement rights.

3. Creation of District Easements

3.1 District easements may be created in any manner allowed by law so long as the easement has been approved and accepted by the District.

3.2 Notwithstanding Section 3.1 above, easements to be conveyed to the District should ordinarily be created by express grant or reservation in a written instrument eligible for recordation in official records of the County of Contra Costa. The form and content of the instrument shall be acceptable to the District but shall not be effective until the instrument has been duly delivered to, approved and accepted by the District.

4. Minimum Standards for Easements

4.1 Unless expressly waived by the District for good cause, an easement conveyed to the District shall be subject to the following minimum standards:

4.1.1 For the purpose of exercising its principal easement rights, the District shall also be afforded the right of ingress and egress to, from, along, on, in, above and below the surface of the land encompassed by the easement.

4.1.2 The easement shall be subject to the provisions of this Ordinance and to other rules and regulations promulgated by the District.

4.1.3 In the case of easements for pipelines, the easement shall have a horizontal width of not less than ten (10) feet

4.2 Easements shall be for the exclusive benefits of the District or they may be non-exclusive. If the easement is nonexclusive, other users of the territory encompassed by the easement shall be prohibited from interfering with the District's easement rights.

5. Unlawful Acts. It is unlawful for any person to:

5.1 Cause or permit an unauthorized encroachment on a District easement;

5.2 After notice, fail to abate or otherwise remove or discontinue any action or condition which results in an unauthorized encroachment;

5.3 Abandon any items of property, including motor vehicles, on or within a District easement;



5.4 Deposit any debris, garbage, trash, toxic substance, liquid or solid waste or other form of refuse on or within a District easement;

5.5 Cause, permit or maintain any activity or condition off or outside the territory of a District easement which causes directly or indirectly a significant interference with the District's easement rights; or

5.6 Cause or permit any activity or condition on or within a District easement which constitutes a public or private nuisance.

6. Authorized and Unauthorized Encroachments

6.1 A property owner may make use of the land over which the District has an easement if those uses do not result in significant interference with the easement.

6.2 Except as provided in Section 7, Class Two and Class Three Encroachments are not authorized and shall not be maintained or permitted on District easements.

6.3 The owner of the property over which the District has an easement and any other person who has caused or permitted an unauthorized encroachment to exist is obligated to promptly remove and eliminate the encroachment.

7. Encroachment Permits. The owner of a property over which the District has an easement who wishes to maintain a Class Two Encroachment or to obtain Grandfather Relief for a Class Three Encroachment, shall apply for and obtain a District Encroachment Permit. No permit is required for a Class One Encroachment.

7.1 The District shall establish and the applicant shall comply with such procedures as are required to process and act on the application, including payment of applicable fees, completion of approved application forms, and submission of specified information needed to evaluate the application.

7.2 An Encroachment Permit shall be issued if:

7.2.1 The applicant has fully complied with all District requirements and procedures pertaining to issuance of the Permit;

7.2.2 The applicant has accepted and agreed to all conditions upon which the Permit is proposed to be issued (see Section 8);

7.2.3 With respect to Class Two Encroachments, the District finds that as conditioned, the Permit shall ensure that the Class Two Encroachments authorized by the permit will not result in significant interference with the District's easement; and

7.2.4 With respect to Grandfathered Class Three Encroachments, the District finds that as conditioned, the Permit shall to the greatest extent

reasonably possible preserve the District's easement rights while at the same time, in the interests of fairness and substantial justice, make appropriate allowances for justifiable concerns of the property owner. (See Sections 8 and 10.) Under no circumstances shall a Class Three Encroachment be eligible for Grandfathering if:

7.2.4.1 Grandfathering could result in a violation of any statute, regulation, order or other provision of law promulgated or enacted by a federal, state or local government entity having jurisdiction over the matter in question;

7.2.4.2 Grandfathering would be materially detrimental to the public health, safety and welfare; or

7.2.4.3 Grandfathering would result in undue hardship to other persons.

8. Encroachment Permit Conditions. The District shall not issue an Encroachment Permit unless conditioned as follows:

8.1 The applicant shall be obliged to fully perform and satisfy all conditions of the Permit;

8.2 When required by the District, the applicant shall cooperate with the District and shall execute a written instrument in recordable form which, when recorded by the District, will place on public record provisions of the Permit which are intended to be known and binding upon any person who succeeds to ownership of an interest in the real property which is subject to the District's easement;

8.3 The permit shall be subject to all of the provisions of this Ordinance;

8.4 With respect to Class Two Encroachments, the Permit shall be conditioned so as to mitigate the effects of the encroachment and safeguard the District's easement rights such that the effect of the mitigation measures and safeguards shall prevent the encroachment from causing significant interference with the District's easement; and

8.5 With respect to Grandfathered Class Three Encroachments, the Permit shall include conditions, which, to the extent reasonably possible under the circumstances, will:

8.5.1 Eliminate the encroachment in due course; and

8.5.2 Until eliminated, alleviate the impacts of the encroachment on the District's easement by requiring mitigation measures and/or safeguards and/or by shifting to the property owner and/or other responsible parties

any financial detriment which may be suffered by the District due to the existence of the activity or conditions.

9. Other Regulations. By resolution of the District's Board of Directors adopted from time to time, as the Board deems necessary and appropriate, the District may promulgate and amend rules, regulations and procedures to implement the provisions of this Ordinance, including the following:

9.1 Establish rules, regulations, and procedures concerning applications for and issuance of Encroachment Permits;

9.2 Set fees and charges for District services related to easements;

9.3 List and categorize activities and conditions which constitute encroachments; and

9.4 Establish standard Encroachment Permit conditions applicable to specific activities and conditions including mitigation measures, safeguards and similar provisions.

10. Grandfathering. A ClassThree Encroachment which was in existence prior to the effective date of this Ordinance may be maintained and shall not be subject to immediate mandatory removal if the encroachment is Grandfathered pursuant to this Section. An encroachment shall be Grandfathered if the applicant has applied for and obtained an Encroachment Permit pursuant to Section 7.2.4 of this Ordinance.

11. Removal and Restoration of Improvements Which are Disturbed by District Activities. Whenever District activities in District easements result in the need for improvements or other activities or conditions of the real property subject to the easement to be removed or otherwise disturbed, the following provisions shall apply:

11.1 Conditions and Activities Not Constituting Unauthorized Encroachments. The District may, at the expense of the District, temporarily remove or discontinue the activity or condition, and upon completion of the District's activities, the District shall, at the District's expense, restore the activity or condition in kind.

11.2 Encroachments Authorized by Permit. If the encroachment is authorized pursuant to an Encroachment Permit and the Encroachment Permit does not provide otherwise, the District shall, at the District's expense, restore the activity or condition in kind.

11.3 Unauthorized Encroachments. Unauthorized encroachments shall be permanently removed by the property owner and/or other responsible person and shall not be restored. Removal shall be performed promptly by and at the expense of the property owner/responsible parties. If the encroachment has not been removed within a reasonable time after notice has been given by the District, or if the urgency of the District's easement activities requires that the activities be

commenced without prior notice, the District may remove the encroachment itself, but the removal costs shall be charged back to the property owner/responsible party.

12. District Remedies. Remedies granted to the District in this Ordinance are in addition to any other rights and remedies which are available under this Ordinance or which are otherwise afforded by law, and the District is entitled to exercise any and all such rights and remedies, either serially or cumulatively, as determined by the District.

13. Request for Relief by Affected Persons. Any person who contends that his/her/its rights have been adversely affected by any action of or failure to act by the District in connection with the provisions of this Ordinance, may seek relief from the District under such rules and procedures as the District shall establish.

14. Superseding Effect. This Ordinance supersedes Ordinance No. 1726-1299 and all other previous and currently existing regulations which are in conflict with its provisions, and all such regulations are rescinded and repealed as of the date this Ordinance becomes effective.

15. CEQA. In accordance with the California Environmental Quality Act ("CEQA"), Public Resources Code sec. 21000 et seq. and the regulations promulgated pursuant to CEQA ("the State Guidelines"), the Board of Directors finds that this Ordinance is not a "project" within the meaning of the Act or the State Guidelines.

16. Effective Date. Upon adoption, this Ordinance shall be entered in the minutes of the Board and shall be published in the El Cerrito Journal promptly following its passage and adoption, and this Ordinance shall take effect and be in force and effect immediately upon the expiration of the week of publication.

\* \* \* \* \*

STATE OF CALIFORNIA)  
COUNTY OF CONTRA COSTA)

I HEREBY CERTIFY that the foregoing Ordinance was duly and regularly adopted by the Board of Directors of the Stege Sanitary District, at a regular meeting thereof, held on the 20th day of June 2002 by the following vote:

AYES:	BOARD MEMBERS:	James, Merrill, Miller, O'Keefe, Bruce
NOES:	BOARD MEMBERS:	None
ABSENT:	BOARD MEMBERS:	None
ABSTAIN:	BOARD MEMBERS:	None

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DOUGLAS BRUCE, President  
Stege Sanitary District  
Contra Costa County, California

ATTEST:

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DOUGLAS HUMPHREY, Secretary  
Stege Sanitary District

**Paul Soo, Jr.**

**From:** "Marcus Daniels" <marcusdaniels1182@gmail.com>  
**Date:** Saturday, August 17, 2024 9:17 PM  
**To:** "Paul Soo, Jr." <Paul@steges.com>  
**Subject:** Material for board meeting

Hi Paul,

Here are some materials I'd like to have available for the board meeting. As I believe the material below illustrates, the foundation walls and the thicker slab of concrete in rear of the shed are from a time before easement documentation and enforcement requirements were in place from the Subdivision Act of 1975. These structures will remain even if my new building is displaced or destroyed.

A possible compromise would be to release the grandfathered status in exchange for a permission to build on them. This would be a risk for me, but the reality is that I will lose money for certain if I am forced to relocate/rebuild/destroy the new building. From Mr. Reyes' remarks I understand the sewer main is in good condition.

The permit I am seeking is for an Accessory Building, not an ADU. This is a structure for my work, not a so-called habitable space. There are not standoff requirements for this type of building from the city. The new building has the same basic footprint as the old building.

1. A section from the inspection report when I purchased the property in 2019. It shows the building and remarks on the need for replacement. (This is simply to say there was definitely a building here – it can be seen on a Google satellite map too.)
2. A second remark from the inspection report remarking on the plug type fuses. The National Electrical Code stopped allowing screw-in fuses in new residential construction in the 1960s. The building predates the Subdivision Act of 1975, when clear marking of easements was introduced. These concrete walls, while indeed within the easement buffer predated the legislation that would have prevented them.
3. There's no mention of an easement in the map provided with the sale of the house.
4. The concrete foundation in use now with the new building is shown in the context of the mostly demolished old building. The sewer line is on the other side of this fence according to Stege staffer Yoalmo Reyes.
5. The photo of the survey down by Mr. Reyes that shows the sewer location in green. The diameter of the tree on top of it is more than a foot. There are several of these trees that follow the path of the sewer on the north neighbor's property, in addition to a concrete hot-tub foundation and their own concrete retaining walls.
6. The first work I did before starting was to dig out a new French drain down to the base of this rear wall. The protective fabric around this drain is seen in photograph #5. Compared to the house above, this is at least eight feet down. There was no indication of anything in vicinity. Just clay. Note in the remarks from the house inspector about the need to drain the property. There is a lot of water that comes down the hill during winter and spring, and this drainage system is important to protecting the house. I would be unhappy to see this retaining wall removed.

Best,

Marcus Daniels  
6819 Snowdon Ave

1)

# Metro

PAGE 8

Inspection Services, 1290 Wildwing Lane, Vallejo, CA 94591—Telephone Number: 510-368-4612

PROPERTY ADDRESS: 6819 Snowdon Avenue, El Cerrito, CA JOB NUMBER: 29111 DATE: 3/14/19

## SITE CONDITIONS

### DESCRIPTION OF SITE CONDITIONS

- Entry Driveways:** Concrete
- Entry Walkways and Patios:** Concrete
- Porches, Decks, Steps, Railings:** Concrete
- Garage:** Attached Structure - 2 Car
- Overhead Garage Door(s):** Metal - Automatic Opener Installed
- Surface Drainage:** Back to Front
- Retaining Walls:** Concrete Block
- Fencing:** Wood



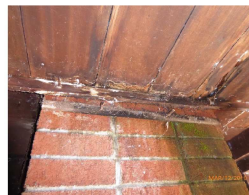
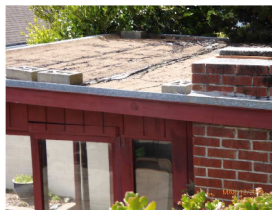
### SOIL CONDITIONS FOUND

The soil around and under this home shows signs of **expansive soil conditions**. Expansive clay soil swells when it gets wet and contracts when it dries, leaving behind telltale surface cracks in the **soil** surface. This cycling process sometimes causes damage to walkways and other unreinforced masonry. The walkways around the home and the driveway show signs of damage from this expansive soil characteristic.

The soil in and around this home is made up of a mixture of **sand, silt, and clay**, mixed with the normal soil materials produced by the decomposition of surface debris. Normally this material provides an adequate support base for foundations. The clay component in the soil requires that extra precautions be taken in the drainage area.

### SITE CONDITIONS FOUND

There is a **patio shed** in the back yard of this home. The general condition of this building is deteriorated and the roofing material is badly in need of repair or replacement. It is a casually constructed garden shed that could be considered for removal or replacement.



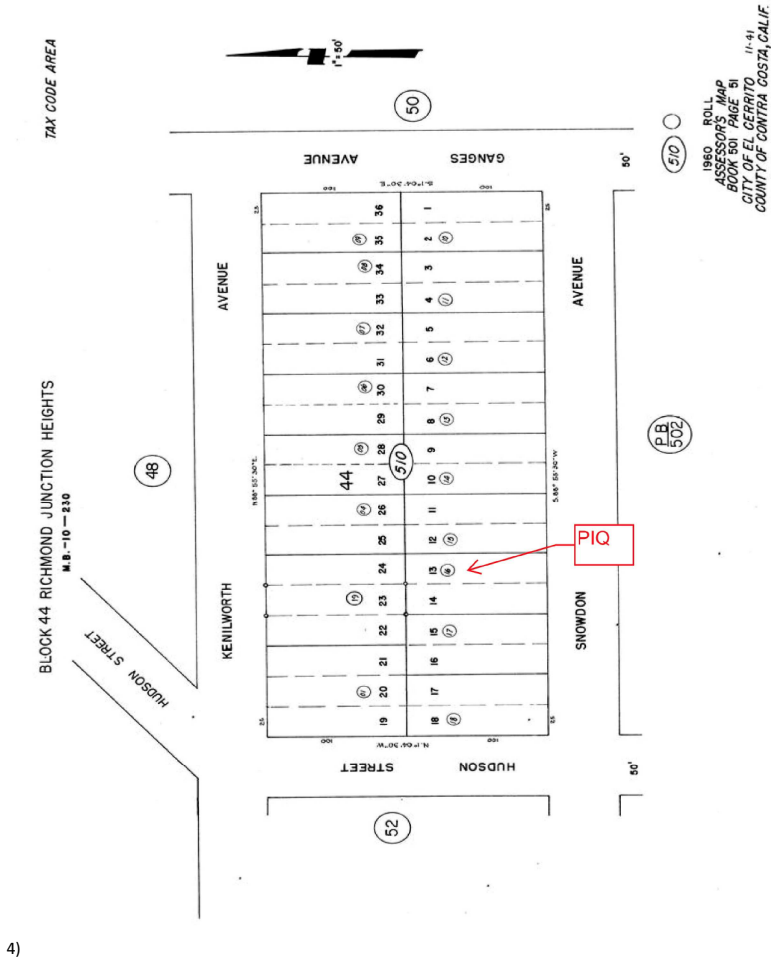
2)

**ELECTRICAL SYSTEM - COMMENTS, CONDITIONS AND RECOMMENDATIONS**

**General Conditions:**

There is a breaker protected main panel, but the subpanel in the patio shed area has **older plug type fuses**. A recent trend in insurance underwriting has developed which calls for replacement of all older **fused** electrical panels with new breaker protected main panels and subpanels. Some upgrading has been done to the electrical system in this home, but the insurance underwriter may require some additional upgrading, if the power to the shed is going to be used.

3)



4)





5)

---

**From:** Paul Soo, Jr. <Paul@stegesan.org>  
**Date:** Tuesday, August 13, 2024 at 9:55 AM  
**To:** Marcus Daniels <marcusdaniels1182@gmail.com>  
**Subject:** Re:

It is held in person and broadcasted online simultaneously via zoom. It starts 7pm.

Zoom info:

<https://www.stegesan.org/board-meeting-remote-conferencing>

---

Paul Soo, Jr.  
Stege Sanitary District  
7500 Schmidt Lane  
El Cerrito, CA 94530  
T: (510) 524-4668  
F: (510) 524-4697

**From:** [Marcus Daniels](#)  
**Sent:** Tuesday, August 13, 2024 9:31 AM  
**To:** [Paul Soo, Jr.](#)  
**Subject:** Re: Re:

Hi Paul,

Is it a virtual or in-person meeting? I don't see anything on the website.

Thanks,

Marcus

---

**From:** Paul Soo, Jr. <Paul@stegesan.org>



**Date:** Tuesday, August 13, 2024 at 9:10 AM  
**To:** marcusgdaniels1182@gmail.com <marcusgdaniels1182@gmail.com>  
**Subject:** Re:

OK sir.. we will add you to the agenda.

---

Paul Soo, Jr.  
Stege Sanitary District  
7500 Schmidt Lane  
El Cerrito, CA 94530  
T: (510) 524-4668  
F: (510) 524-4697

**From:** [marcusgdaniels1182@gmail.com](mailto:marcusgdaniels1182@gmail.com)  
**Sent:** Tuesday, August 13, 2024 8:40 AM  
**To:** 'Paul Soo, Jr.'  
**Subject:** RE: RE:

Please do add me to the agenda.

---

**From:** Paul Soo, Jr. <[Paul@stegasan.org](mailto:Paul@stegasan.org)>  
**Sent:** Monday, August 12, 2024 10:48 AM  
**To:** marcusgdaniels1182@gmail.com  
**Subject:** Re: RE:

Mr. Daniels,

I am touching base – are you still interested in bringing your agenda item to the Board? We are creating the agenda for the upcoming Board meeting.

Please confirm and let me know either way.

---

Paul Soo, Jr.  
Stege Sanitary District  
7500 Schmidt Lane  
El Cerrito, CA 94530  
T: (510) 524-4668  
F: (510) 524-4697

**From:** [marcusgdaniels1182@gmail.com](mailto:marcusgdaniels1182@gmail.com)  
**Sent:** Monday, July 29, 2024 3:23 PM  
**To:** 'Paul Soo, Jr.'  
**Subject:** RE:

Hi Paul,

Could you confirm receipt of 1) the letter, 2) photos, and 3) the building plan? I can bring them down in person if electronic communication isn't practical.

Marcus

---

**From:** Paul Soo, Jr. <[Paul@stegasan.org](mailto:Paul@stegasan.org)>  
**Sent:** Monday, July 29, 2024 3:04 PM  
**To:** Marcus Daniels <[marcus@snoutfarm.com](mailto:marcus@snoutfarm.com)>  
**Subject:**

I received your email but no attachments. I am also unable to reply to your original message.

---

Paul Soo, Jr.  
Stege Sanitary District  
7500 Schmidt Lane  
El Cerrito, CA 94530  
T: (510) 524-4668  
F: (510) 524-4697

**Paul Soo, Jr.**

---

**From:** "Marcus Daniels" <marcusgdaniels1182@gmail.com>  
**Date:** Sunday, August 18, 2024 11:36 AM  
**To:** "Paul Soo, Jr." <Paul@stegesans.org>  
**Subject:** Material for board meeting (cont.)

Here are a few more photos to give context.

7) Several pictures showing the size of the trees and the number of trees that are directly above the sewer main.

8) A clearer view of the concrete wall as it relates to the property line and the fence & trees.

Note: The unpaved strip is where the French drain from the retaining wall delivers its water via pipe. .

9) The east neighbor's patio is over the buffer area as well.

10) In fact, most neighboring properties are in this buffer area. Many of them, like me, don't use that sewer main.

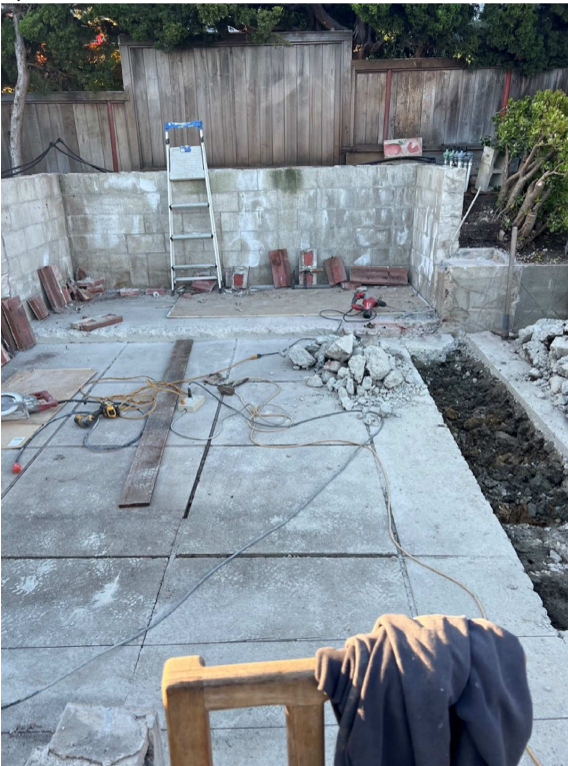
Our sewer main is under the road on Snowdon

7)





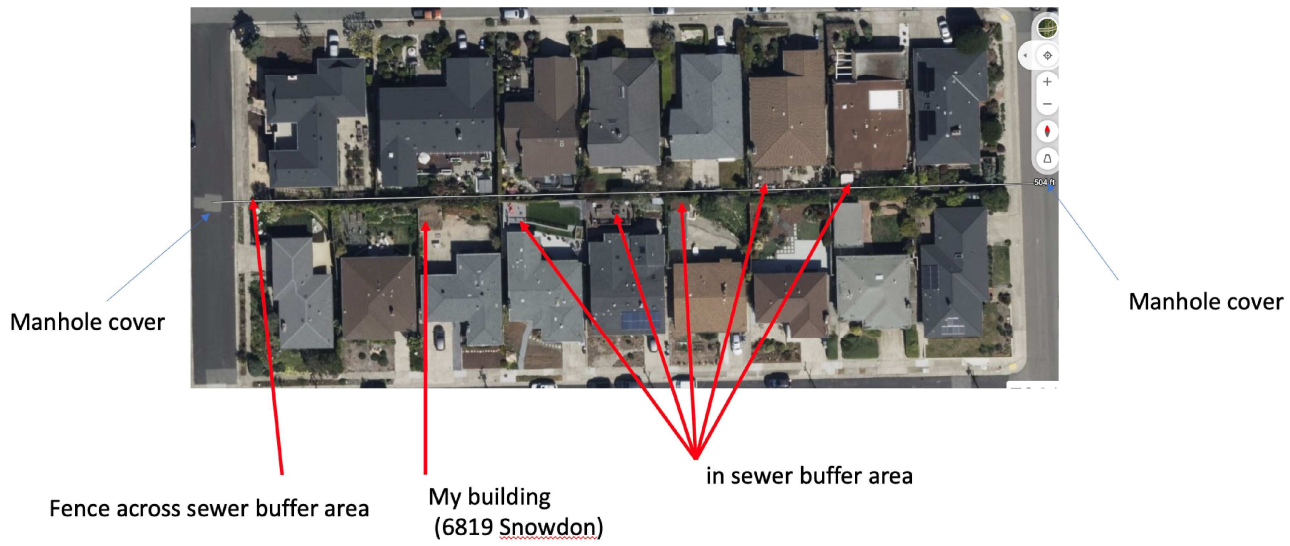
8)



9)



10)



## **CANCELLATION OF THE SEPTEMBER 5, 2024 REGULAR BOARD MEETING**

### **ISSUE:**

The Board will consider cancellation of the upcoming regular Board meeting on September 5, 2024 since there are no pressing agenda items to consider.

### **FISCAL IMPACT:**

By cancelling the meeting, the District will save from paying the Directors' meeting compensation fee total of around \$1,000.

### **STRATEGIC PLAN:**

GOAL 3: Ensure Financial Stability and Efficiency

GOAL 4: Provide a Safe and Rewarding Work Environment that Recognizes the Worth and Value of Employees

### **BACKGROUND:**

There are no pressing agenda items scheduled for the upcoming regular Board meeting on September 5, 2024. Unless new time sensitive issues come up that would necessitate a meeting, the meeting can be cancelled.

### **RECOMMENDATION:**

Approve the cancellation of the September 5, 2024 Board Meeting and have staff post a Notice of Meeting Cancellation on the District website and bulletin board outside the District office.

### **ALTERNATIVES:**

1. Take no action and continue with the scheduled Board meeting on September 5, 2024.

### **ATTACHMENTS:**

Notice of Meeting Cancellation

# STEGE SANITARY DISTRICT

## NOTICE OF MEETING CANCELLATION

NOTICE IS HEREBY GIVEN as follows:

The regular board meeting of the Stege Sanitary District Board of Directors scheduled for September 5, 2024 has been cancelled.

The next meeting of the Stege Sanitary District Board of Directors will be held on September 19, 2024 at 7:00 P.M. at the District office, 7500 Schmidt Lane, El Cerrito, California.

Dated: August 22, 2024



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Rex Delizo  
STEGE SANITARY DISTRICT  
Secretary

**RESOLUTION NO. 2251-0824 APPROVING AND AUTHORIZING DISPOSAL OF  
SURPLUS PROPERTY**

**ISSUE:**

The District is required to take formal action to dispose of its surplus property.

**FISCAL IMPACT:**

The item on the list is fully depreciated and valued at \$0.

**STRATEGIC PLAN:**

GOAL 4: Provide Safe and Rewarding Work Environment that Recognizes the Worth and Value of Employees

WORK PLAN ITEM “a”: Provide employees with the proper tools, resources and technology necessary to perform their duties safely, effectively and efficiently

**BACKGROUND:**

The District has reviewed its inventory and determined it has property that is no longer needed or useful. State law requires that the District identify the property as “surplus” to authorize the sale of surplus property. The attached resolution provides for this requirement.

**RECOMMENDATION:**

Approve the resolution.

**ALTERNATIVES:**

1. Make amendments and approve, as amended
2. Take no action.
3. Provide staff further direction.

**ATTACHMENTS:**

Resolution No. 2251-0824

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RESOLUTION NO. 2251-0824

RESOLUTION APPROVING AND AUTHORIZING DISPOSAL OF  
SURPLUS PROPERTY OF THE STEGE SANITARY DISTRICT

The Directors of the Stege Sanitary District find and determine as follows:

The following item of property has the indicated value. It is no longer useful for the operation of the District:

DESCRIPTION	DATE ACQUIRED	ORIGINAL VALUE	ACCUMULATED DEPRECIATION	ESTIMATED VALUE
2013 VAC-CON	4/10/2013	\$323,555	\$323,555	\$0

The Directors of Stege Sanitary District resolve as follows:

1. The above item of property is declared surplus, since it is no longer useful to the District.
2. The District Manager is authorized to sign and execute all documents necessary to sell the surplus property or otherwise dispose of it in accordance with District policies and procedures and applicable law.

\*\*\*\*\*

STATE OF CALIFORNIA)  
COUNTY OF CONTRA COSTA)

I HEREBY CERTIFY that the foregoing Resolution was duly and regularly adopted by the Directors of the Stege Sanitary District, at a regular meeting, held on the 22<sup>nd</sup> day of August 2024, by a X-X vote as follows:

AYES: BOARD MEMBERS:  
NOES: BOARD MEMBERS:  
ABSENT: BOARD MEMBERS:  
ABSTAIN: BOARD MEMBERS:

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PAUL GILBERT-SNYDER, President  
Stege Sanitary District  
Contra Costa County, California

ATTEST:

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REX DELIZO, Secretary  
Stege Sanitary District

DRAFT

**STEGE SANITARY DISTRICT**  
**Investment, Cash & Receivables Report**  
As of July 31, 2024

11:53:58 AM  
08/19/2024

	<u>July 31, 2024</u>	<u>June 30, 2024</u>	<u>\$ Change</u>	<u>Deposits</u>	<u>Checks</u>	<u>Transfers</u>
<b>ASSETS</b>						
<b>Current Assets</b>						
<b>Checking/Savings</b>						
<b>TVI &amp; LAIF Investment Accts</b>						
11012 · Sewer Operations- 3418	7,281,936	9,009,936	-1,728,000	0	0	-1,728,000
11014 · System Rehab- 3423	1,073,136	1,073,136	0	0	0	0
11017 · Five Star Money Market	1,012,682	1,000,000	12,682		0	0
11020 · TVI Investments	2,036,019	2,036,019	0	0	0	0
<b>Total TVI &amp; LAIF Investment Accts</b>	<u>11,403,773</u>	<u>13,119,092</u>	<u>-1,715,318</u>	<u>0</u>	<u>0</u>	<u>-1,728,000</u>
<b>Checking Accts</b>						
100 · Mechanics Bank	20,806	190,392	-169,586	25	-192,611	23,000
101a · Five Star Bank	723,366	-534,473	1,257,839	423,524	-870,685	1,705,000
100 · County Cash Acct #3418	105,112	105,112	0 *	0 *	0	0
<b>Total Checking Accts</b>	<u>849,285</u>	<u>-238,968</u>	<u>1,088,253</u>	<u>423,549</u>	<u>-1,063,296</u>	<u>1,728,000</u>
11021 · Petty Cash	250	250	0	0	0	0
<b>Total Checking/Savings</b>	<u>12,253,308</u>	<u>12,880,374</u>	<u>-627,066</u>	<u>423,549</u>	<u>-1,063,296</u>	<u>0</u>
301 · Ca Employer's Retiree Benefit Trust	306,896	304,696	2,200	2,200	0	0
<b>Total CA Employer's Retiree Benefit Trust</b>	<u>306,896</u>	<u>304,696</u>	<u>2,200</u>	<u>0</u>	<u>0</u>	<u>0</u>
<b>Accounts Receivable</b>						
11072 · Accounts Receivable/Notes Payable	225,029	642,213	-417,184			
<b>Total Accounts Receivable</b>	<u>225,029</u>	<u>642,213</u>	<u>-417,184</u>			

Note: \* Reduction or Increase is based on property tax estimate.

I hereby certify that the invested funds of the Stege Sanitary District are in compliance with the investment policies of the Stege Sanitary District and provide sufficient liquidity to meet budgeted expenses for the next six month period.

\_\_\_\_\_  
Rex Delizo, District Manager

\_\_\_\_\_  
Date

STEGE SANITARY DISTRICT

Operating Statement

08/19/2024

July 2024

8.47% of Fiscal year Completed

	July 2024	Annual Budget	% of Annual Budget
<b>Income</b>			
<b>31 - OPERATING REVENUE</b>			
31010 - Sewer Service Charges	-	3,209,000	0%
31020 - Permit & Insp. Fees	555	12,000	5%
31030 - Connection Fees	1,935	100,000	2%
31040 - San Pablo Impact Fee	-	100,000	0%
31080 - Contracted Services	-	33,000	0%
31010a - Capital Service Charges	-	3,775,000	0%
<b>Total 31 - OPERATING REVENUE</b>	<b>2,490</b>	<b>7,229,000</b>	<b>0%</b>
<b>32 - NON-OPERATING REVENUE</b>			
32050 - Interest - 3418	4,291	110,000	4%
32052 - Interest - 3423	-	16,000	0%
32057 - TVI Interest	-	-	#DIV/0!
32080 - Property Taxes	-	585,500	0%
32085 - Insurance Dividend	-	-	0%
32090 - Miscellaneous	-	30,000	0%
<b>Total 32 - NON-OPERATING REVENUE</b>	<b>4,291</b>	<b>741,500</b>	<b>1%</b>
Transfer (to)/from Reserves	-	1,551,263	0%
<b>Total Income</b>	<b>6,781</b>	<b>9,521,763</b>	<b>0%</b>
<b>Expense</b>			
<b>OPERATING EXPENSES</b>			
<b>Administration/General</b>			
45-010 - Salaries & Wages	22,335	276,440	8%
45-020 - Employee Benefits	71,617	152,935	47%
45-029 - Retiree Health	977	13,700	7%
45-030 - Directors Expenses	2,751	37,449	7%
45-070 - Insurance	33,347	370,500	9%
Administration - Other	8,398	311,801	3%
<b>Total Administration</b>	<b>139,424</b>	<b>1,162,825</b>	<b>12%</b>
<b>Maintenance/Engineering</b>			
41-010 - Salaries & Wages	123,156	1,359,260	9%
41-020 - Employee Benefits	148,773	587,841	25%
41-029 - Retiree Health	977	14,900	7%
41-100 - Operating Supplies	34	40,000	0%
41-110 - Contractual Services	410	105,300	0%
41-207 - Contracted Repairs	2,500	74,000	3%
Maintenance- Other	8,292	344,927	2%
<b>Total Maintenance/Engineering</b>	<b>284,141</b>	<b>2,486,208</b>	<b>11%</b>
Pump Stations	324	40,020	1%
<b>Total OPERATING EXPENSES</b>	<b>423,890</b>	<b>3,689,053</b>	<b>11%</b>
<b>CAPITAL</b>			
41-650 - Debt Repayment (SRF Loans)	-	43,900	0%
Construction Projects	15,300	5,188,810	0%
Outlay(Maintenance/Engineering)	-	600,000	0%
<b>Total CAPITAL</b>	<b>15,300</b>	<b>5,832,710</b>	<b>0%</b>
<b>Total Expense</b>	<b>439,190</b>	<b>9,521,763</b>	<b>5%</b>
<b>Net</b>	<b>(432,409)</b>	<b>0</b>	



**Market Value Summary:**

	QTD Current Period	Fiscal Year to Date
Beginning Balance	\$304,696.49	\$276,659.69
Contribution	0.00	2,852.08
Disbursement	0.00	0.00
Transfer In	0.00	0.00
Transfer Out	0.00	0.00
Investment Earnings	2,263.53	30,480.04
Administrative Expenses	(36.76)	(140.54)
Investment Expense	(26.94)	(102.87)
Other	0.00	0.00
Ending Balance	\$306,896.32	\$309,748.40
FY End Contrib per GASB 74 Para 22	0.00	(2,852.08)
FY End Disbursement Accrual	0.00	0.00
Grand Total	\$306,896.32	\$306,896.32

**Unit Value Summary:**

	QTD Current Period	Fiscal Year to Date
Beginning Units	13,521.649	13,382.297
Unit Purchases from Contributions	0.000	139.352
Unit Sales for Withdrawals	0.000	0.000
Unit Transfer In	0.000	0.000
Unit Transfer Out	0.000	0.000
Ending Units	13,521.649	13,521.649
Period Beginning Unit Value	22.533991	20.460451
Period Ending Unit Value	22.696679	22.696679

Please note the Grand Total is your actual fund account balance at the end of the period, including all contributions per GASB 74 paragraph 22 and accrued disbursements. Please review your statement promptly. All information contained in your statement will be considered true and accurate unless you contact us within 30 days of receipt of this statement. If you have questions about the validity of this information, please contact CERBT4U@calpers.ca.gov.

Statement of Transaction Detail for the Quarter Ending 06/30/2024

Stege Sanitary District

Entity #: SKB0-2595946637



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Date	Description	Amount	Unit Value	Units	Check/Wire	Notes
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Client Contact:  
CERBT4U@CalPERS.ca.gov

<b>10:54 AM</b>	<b>STEGE SANITARY DISTRICT</b>			
<b>08/19/2024</b>	<b>Check Report</b>			
<b>Accrual Basis</b>	<b>August 22, 2024</b>			
	<b>Name</b>	<b>Memo</b>	<b>Amount</b>	<b>Num</b>
<b>Aug 22, 24</b>				
	Bay Alarm Company	Burglar & Fire Alarm	-620.52	1166
	Direct Line	Answering Service 7/01-31/24	-113.00	1167
	EBMUD 12374900001	Office/Shop	-264.60	1168
	EBMUD 39830388387	Hydrant Meter	-549.66	1169
	EBMUD 57132800001	Office/Shop	-760.08	1170
	EBMUD 92526846174	Hydrant Meter	-549.66	1171
	Redwood Public Law, LLP	Legal Services	-2,712.00	1172
<b>Aug 22, 24</b>			<b>-5,569.52</b>	

## STEGE SANITARY DISTRICT 2024 BOARD OF DIRECTORS MEETING AGENDA CALENDAR

JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE
1/1 & 1/15 HOLIDAY  CASA Winter Conf. Jan 24-26, Palm Springs	2/19 HOLIDAY  CASA Policy Forum Feb 26-27, Wash, DC			5/27 HOLIDAY	6/19 HOLIDAY
1/18/2024 – 7:00 P.M.	2/1/2024 – 7:00 P.M.	3/2/2024 – <b>9:00 A.M.</b>	4/18/2024 – 7:00 P.M.	5/2/2024 – 7:00 P.M.	6/6/2024 – 7:00 P.M.
<ul style="list-style-type: none"> <li>• Board Governance Manual Review</li> <li>• Service Rate Discussion</li> <li>• Long Range Planning Workshop Agenda</li> <li>• Director’s Contact Info</li> <li>• Board Training Summ.</li> <li>• CASA/CSDA Conf.</li> <li>• Quarterly Financial Statements</li> <li>• SPASPA Status Report</li> <li>• CLOSED SESSION – Quarterly Claims Rpt. – Manager Perf. Eval.</li> </ul>	<ul style="list-style-type: none"> <li>• (none)</li> </ul>	<p><b><u>9AM MEETING TIME</u></b></p> <ul style="list-style-type: none"> <li>• Long Range Planning Workshop – Past 5 yrs. Expenditures Review</li> <li>– Self-Assessment of Governance</li> <li>– Strategic Plan Review</li> </ul>	<ul style="list-style-type: none"> <li>• Draft Budget</li> <li>• Employee Benefit Package Review</li> <li>• Service Rate Discussion/Approval</li> <li>• July 4<sup>th</sup> Fair Discussion</li> <li>• Board Training Summ.</li> <li>• Quarterly Financial Statements</li> <li>• SPASPA Status Report</li> <li>• Appoint Labor Negot.</li> <li>• CLOSED SESSION – Quarterly Claims Rpt. – Conf. Labor Negot.</li> </ul>	<ul style="list-style-type: none"> <li>• (none)</li> </ul>	<ul style="list-style-type: none"> <li>• Draft Budget</li> <li>• Review Directors’ Meeting Compensation</li> <li>• District Working Capital and Reserve Policy</li> <li>• Approve Project Plans and Specs (+CEQA)</li> <li>• July 4<sup>th</sup> Fair Discussion</li> <li>• CASA/CSDA Conf.</li> </ul>
	2/15/2024 – 7:00 P.M.	3/21/2024 – 7:00 P.M.		5/16/2024 – 7:00 P.M.	6/20/2024 – 7:00 P.M.
	<ul style="list-style-type: none"> <li>• Board Governance Manual Approval</li> <li>• Actuarial Analysis of Retiree Health Benefits Report (even years)</li> <li>• Performance Report</li> <li>• District of Distinction (every 3 years)</li> <li>• Service Rate Discussion</li> <li>• Long Range Planning Workshop Agenda</li> <li>• Board Training Summ.</li> <li>• CASA/CSDA Conf.</li> <li>• CASA Conference Attendee Reports</li> <li>• Form 700</li> </ul>	<ul style="list-style-type: none"> <li>• Auditor – RFP</li> <li>• California Employer’s Retiree Benefit Trust (CERBT)</li> <li>• Service Rate Discussion</li> <li>• Action Plan</li> <li>• Board Training Summ.</li> <li>• Consent Decree Quarterly Report</li> <li>• CASA Conference Attendee Reports</li> <li>• Form 700</li> </ul>		<ul style="list-style-type: none"> <li>• Resolution Ordering Board Election (even years)</li> <li>• Draft Budget</li> <li>• Board Training Summ.</li> <li>• July 4<sup>th</sup> Fair Discussion</li> <li>• Review of Comparable Agencies</li> <li>• Service Rate Discussion/Approval</li> <li>• CLOSED SESSION – Manager Perf. Eval. – Conf. Labor Negot.</li> </ul>	<ul style="list-style-type: none"> <li>• Resolution Salary of District Manager</li> <li>• Resolution Employee Salary Ranges</li> <li>• Resolution Approve/Adopt Budget</li> <li>• Review and Approve Incentive Award</li> <li>• Adopt Incentive Award Goals &amp; Objectives</li> <li>• July 4<sup>th</sup> Fair Discussion</li> <li>• CD Quarterly Report</li> <li>• CASA/CSDA Conf.</li> <li>• CLOSED SESSION – Counsel Perf. Eval.</li> </ul>



# STEGE SANITARY DISTRICT

## 2024 BOARD OF DIRECTORS MEETING AGENDA CALENDAR

JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
7/4 HOLIDAY 4 <sup>th</sup> of July Fair Booth  CASA Annual Conf. Jul 31- Aug 2, Monterey		9/2 HOLIDAY  CSDA Annual Conf. Sep 9-12, Indian Wells  Board Training AB 1234 (even years) AB 1661 (odd years)		11/28-29 HOLIDAY	12/12 HOLIDAY LUNCHEON  12/25 HOLIDAY
7/18/2024 – 7:00 P.M.	8/8/2024 – 7:00 P.M.	9/5/2024 – 7:00 P.M.	10/3/2024 – 7:00 P.M.	11/7/2024 – 7:00 P.M.	12/12/2024 – <b>2:00 P.M.</b>
<ul style="list-style-type: none"> <li>• Hearing +Res./Ord. – Establish and Collect Sewer Service Charges</li> <li>– Director Meeting Compensation</li> <li>• Resolution Filing Notice of Completion</li> <li>• District Investment Policy</li> <li>• Reimb. Report per Gov. Code 53065.5</li> <li>• Candidate filing period (even years)</li> <li>• CASA/CSDA Conf.</li> <li>• Form 470</li> <li>• July 4th Fair Debrief</li> <li>• Quarterly Financial Statements</li> <li>• SPASPA Status Report</li> <li>• CLOSED SESSION – Quarterly Claims Rpt.</li> </ul>	<ul style="list-style-type: none"> <li>• (none)</li> </ul>	<ul style="list-style-type: none"> <li>• (none)</li> </ul>	<ul style="list-style-type: none"> <li>• (none)</li> </ul>	<ul style="list-style-type: none"> <li>• Proposed Meeting Calendar</li> <li>• Board Officer Succession Plan</li> <li>• CASA/CSDA Conf.</li> </ul>	<b><u>2PM MEETING TIME</u></b> <ul style="list-style-type: none"> <li>• Fiscal Year Financial Audit</li> <li>• Resolution Certifying Election Results (even years)</li> <li>• Connection Charge Review</li> <li>• Emergency Contact Update</li> <li>• Meeting Calendar</li> <li>• Consent Decree Quarterly Report</li> <li>• CASA/CSDA Conf.</li> <li>• Pension + OPEB UAL Reports</li> <li>• Nomination &amp; Election of Officers</li> </ul>
	8/22/2024 – 7:00 P.M.	9/19/2024 – 7:00 P.M.	10/17/2024 – 7:00 P.M.		